



**CITY OF GRAND PRAIRIE
CITY COUNCIL MEETING
CITY HALL - COUNCIL BRIEFING ROOM AND CHAMBERS
300 W. MAIN STREET
TUESDAY, MARCH 01, 2022 AT 4:30 PM**

AGENDA

The meeting will be held at City Hall, Council Briefing Room and Chambers, 300 W. Main St, Grand Prairie, Texas, and the Mayor or presiding member will be physically present. Council members may be participating remotely via video conference.

CALL TO ORDER

AGENDA REVIEW

EXECUTIVE SESSION

The City Council may conduct a closed session pursuant to Chapter 551, Subchapter D of the Government Code, V.T.C.A., to discuss any of the following:

- (1) *Section 551.071 "Consultation with Attorney" - Short Term Rentals*
- (2) *Section 551.072 "Deliberation Regarding Real Property"*
- (3) *Section 551.074 "Personnel Matters"*
- (4) *Section 551.087 "Deliberations Regarding Economic Development Negotiations."*

City Council also reserves the right to discuss any agenda item in closed session when authorized by the above referenced provisions. Any final action will be taken during open session.

RECESS MEETING

RECONVENE MEETING – 6:30 PM

Invocation led by Pastor Randy Capote of South Park Baptist Church.

Pledge of Allegiance to the US Flag and Texas Flag led by Council Member Lopez.

CONSENT AGENDA

The full agenda has been posted on the city's website, www.gptx.org, for those who may want to view this agenda in more detail. Citizens may speak for five minutes on any item on the agenda by completing and submitting a speaker card.

1. Minutes of the February 15, 2022, City Council Meeting
2. Assignment of Contract(s) for compound pharmaceuticals from Roadrunner Pharmacy to WA Butler Company dba Covetrus North America, LLC in the annual amount of \$28,507.46 for one year, with the option to renew for one (1) additional one-year renewal, for a total of \$57,014.92 if all extensions are executed. Authorize the City Manager to execute the renewal

options with aggregate price fluctuations of the lesser of \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

3. Purchase of Panasonic "Toughbook" rugged mobile laptops and docking stations for the Police Department from GTS Technology Solutions (GTS) in the amount of \$145,347.02, through a cooperative agreement with the Department of Information Resources (DIR)
4. Contract with Tyler Technologies for software support and maintenance in the amount of \$9,766.00. This agreement will be for one year with the option to renew for four (4) additional one-year periods totaling \$53,959.00 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms
5. Parkview PID Contract with Site Landscape Development for landscape maintenance \$35,460.02, beautification, \$24,621.07, and irrigation system maintenance services, \$3,500 for a one year term in the amount of \$63,581.09 (Council District 1)
6. Westchester PID Contract with Classic Construction and Restoration, Inc. for wall replacement for one year in the amount of \$51,360 (Council Districts 2 and 6)
7. Lake Parks PID Contract with Site Landscape Development for landscape maintenance \$119,085.42, beautification, \$85,000, and irrigation system maintenance services, \$12,000 for a one year term in the amount of \$216,085.42 (Council Districts 4 and 6)
8. Authorize payment of \$94,957.13 to McGriff Insurance Services, Inc. for renewal of the City's Cyber Liability policy with Underwriters at Lloyd's of London for the period of February 4, 2022, through February 4, 2023.
9. Appoint two (2) members and one (1) alternate member to the Joint Airport Zoning Board to amend the Height Hazard Map in accordance with update guidelines from the Federal Aviation Administration
10. Participation Agreement with 1301 Parker Rd, LLC for Right of Way Improvements in the total amount of \$131,014.75
11. Final Reconciliation Change Order No. 3 with La Banda, LLC for Dickey Road Storm Drain Improvements West of S.W. 3rd Street in the net negative amount of \$24,740.00
12. Change Order/Amendment No. 1 with Excel 4 Construction in the net negative amount of (\$135,473.00) for pipe size revisions of sanitary sewer outfall reach north of Arkansas lane to Trinity River Authority (TRA) Cottonwood interceptors and a TRA fiber reinforced drop manhole on Skyway and Small Street Sewer Improvements
13. Price agreement for Guard Rail Removal and Installation with Vann Elli, Inc., at an estimated annual cost of \$290,100. This agreement will be for one year with the option to renew for four additional one-year periods totaling \$1,450,500 if all extensions are exercised. Also authorize

the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal term(s)

14. Price agreement for Traffic Signals/Fiber Optic Ground Boxes with Techline, Inc., at an estimated annual cost of \$76,235. This agreement will be for one year with the option to renew for four additional one- year periods totaling \$381,175 if all extensions are exercised. Also authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal term(s)
15. Price agreement renewal #1 for Concrete Paving with Santos Construction, Inc. in an annual amount not to exceed \$11,835,345.20, with a secondary, New Star Grading & Paving, Inc., not to exceed an amount of \$16,010,955.30, and a tertiary, McMahon Contracting, L.P., not to exceed \$12,295,231.42, if all extensions are exercised. Also authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal term(s)
16. Purchase and replacement for the Audio/Visual Setup and related components for The Summit ballrooms from Infinity Sound Ltd. In the amount of \$64,587 through a BuyBoard contract
17. Price agreement for HVAC services including testing air balance, equipment, installations, and repairs from Trane, Inc. through an interlocal agreement with Omnia Partners at an estimated cost of \$750,000.00 for one year, and authorize the City Manager to execute any change orders with aggregate price fluctuations of up to \$50,000.00 or 25% so long as sufficient funding is appropriated by the City Council to satisfy the city's obligation during the renewal terms
18. Price agreement for plumbing services from The Brandt Companies, LLC through an interlocal agreement with BuyBoard at an estimated cost of \$100,000.00. This agreement will be for one year with the option to renew for one additional one-year period totaling \$200,000.00 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of up to \$50,000.00 or 25% so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms
19. Price agreement for general contracting services from Thatch Engineering through a national cooperative agreement with TIPS at an estimated annual cost of \$750,000.00. This agreement will be for one year with the option to renew for four additional one-year periods totaling \$3,750,000.00 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of up to \$50,000.00 or 25% so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms
20. Lease Extension between the Grand Prairie Local Government Corporation and Calvary Baptist Church of Grand Prairie located at 401 W Church St, Grand Prairie, TX 75050 until December 31, 2022

PLANNING AND ZONING ITEMS TO BE TABLED

- [21.](#) SUP-22-09-0027 - Specific Use Permit/Site Plan - Restaurant with Drive-Through at 2380 W Camp Wisdom Road (City Council District 6). Specific Use Permit/Site Plan for a Restaurant with a Drive-Through on 1.28 acres. Lot 6, Block 1, Victory at Lakeridge Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-283, within the Lake Ridge Corridor Overlay District, and addressed as 2380 W Camp Wisdom Road (On February 14, 2022, the Planning and Zoning Commission tabled this item to February 28, 2022)

PLANNING AND ZONING FOR INDIVIDUAL CONSIDERATION

- [22.](#) STP-21-11-0022 - Site Plan - Parkside on Carrier (City Council District 3). Site Plan for a 38-unit age restricted multi-family development on 2.85 acres. Tract 60, Charles Gibbs Survey, Abstract No. 534, City of Grand Prairie, Dallas County, Texas, zoned General Retail and Multi-Family Two Districts, and addressed as 1217 S Carrier Parkway (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)
- [23.](#) STP-21-12-0025 - Site Plan - International Leadership Texas High School (City Council District 4). Site Plan for a High School Campus with an 88,655 sq. ft., two-story building, athletic fields, and 12 temporary modular buildings on 27.82 acres. Lot 1, Block 1, IL Texas GP Addition and Lot 3, Block A, Sunbelt Addition, City of Grand Prairie, Tarrant County, Texas, zoned Agricultural and PD-319 and located within the SH-360 Corridor Overlay District, addressed as 2851 Ragland Rd (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0 with the condition that the building elevations meet Appendix F requirements)
- [24.](#) STP-22-01-0027 - Site Plan - Retail F at Epic East Towne Crossing (City Council District 2). Site Plan for a 12,000 sq. ft. building for retail and restaurant uses on 1.960 acres. Lot 11, Block A, Epic East Towne Crossing Phase II, City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH 161 Corridor Overlay District, and addressed as 3142 S HWY 161 (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)
- [25.](#) STP-22-01-0026 - Site Plan - Centerline Supply (City Council District 1). Site Plan for an 18,000 sq. ft. addition to an existing manufacturing building on 1.98 acres. Lots 1R and 5-10, Block C, Bell Crest Addition, City of Grand Prairie, Tarrant County, Texas, zoned Planned Development-416 (PD-416) District, and addressed as 509 Jesse Street (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)

PUBLIC HEARING ZONING APPLICATIONS

- [26.](#) CPA-21-12-0002 - Comprehensive Plan Amendment - Villas at Bardin (City Council District 4). Amendment to the Future Land Use Map to change the designation from Low Density Residential to Medium Density Residential. A portion of Block 4, Sheffield Village Addition, Phase IV, City of Grand Prairie, Tarrant County, Texas, zoned PD-140B with an approximate address of 2801 W Bardin Rd (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote 7-0)

- [27.](#) ZON-21-11-0015 - Zoning Change/Concept Plan - Villas at Bardin (City Council District 4). Zoning Change from PD-140B for Single Family Detached Use to a Planned Development District for Townhome Use and a Concept Plan for a townhome development with 87 units on 10 acres. A portion of Block 4, Sheffield Village Addition, Phase IV, City of Grand Prairie, Tarrant County, Texas zoned Planned Development (PD 140B) with Single-Family detached uses located in the southeast corner of Bardin Rd. and Magna Carta Blvd. with an approximate address of 2801 W Bardin Rd The (On February 14, 2022, The Planning and Zoning Commission recommended approval by a vote of 5-2)
- [28.](#) SUP-21-12-0024 – Specific Use Permit/Site Plan – Gateway Multi-Family (City Council District 5) Specific Use Permit/Site Plan for a multi-family development with 310 units on 5.72 acres. Tracts 8, 8.1, 8.2, and 8.3 of Michael Farrans Survey, Abstract No. 469, City of Grand Prairie, Dallas County, Texas, zoned PD-217 with multi-family uses, within the Belt Line Corridor Overlay District, and generally located at the southwest corner of I-30 and the future extension of Stadium Dr. with an approximate address of 1175 Stadium Dr (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)
- [29.](#) SUP-21-12-0023 - Specific Use Permit/Site Plan - Star Shell Convenience Store w/gas pumps, Restaurant with a Drive-Through and a Carwash. (City Council District 5). Specific Use Permit for a Carwash and a Restaurant with a Drive-Through and a Site Plan Amendment to expand the existing carwash tunnel, construct a 475 sq. ft. addition to the existing Convenience Store/Restaurant building, and add a drive-through lane for the restaurant. Lot 3, Block 1, Lone Star Plaza Addition, City of Grand Prairie, Dallas County, Texas, zoned PD-217 and PD-217A, located within the Belt Line Corridor Overlay District, and addressed as 925 N Belt Line Rd (On February 14, 2022, the Planning and Zoning Commission recommended approval with staff conditions by a vote of 7-0)
- [30.](#) TAM-22-01-0001 - Text Amendment - Article 8: Landscape and Screening Standards. An Ordinance of the City of Grand Prairie, Texas, amending Article 8: Landscape and Screening Standards of the Unified Development Code to create an administrative exception process for alternative fence materials in residential zoning districts; Repealing all Ordinances or parts of Ordinances in conflict herewith; Containing a savings clause and a severability clause; and to become effective upon its passage and approval (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)

ITEMS FOR INDIVIDUAL CONSIDERATION

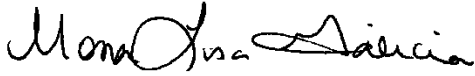
CITIZEN COMMENTS

Citizens may speak during Citizen Comments for up to five minutes on any item not on the agenda by completing and submitting a speaker card.

ADJOURNMENT

Certification

In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A, the City Council meeting agenda was prepared and posted February 25, 2022.



Mona Lisa Galicia, City Secretary

The Grand Prairie City Hall is accessible to people with disabilities. If you need assistance in participating in this meeting due to a disability as defined under the ADA, please call 972-237-8035 or email GPCitySecretary@gptx.org at least three (3) business days prior to the scheduled meeting to request an accommodation.



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: Gloria Colvin

PRESENTER: Gloria Colvin, Deputy City Secretary

TITLE: Minutes of the February 15, 2022, City Council Meeting

RECOMMENDED ACTION: Approve



**CITY OF GRAND PRAIRIE
CITY COUNCIL MEETING
CITY HALL - COUNCIL CHAMBERS, 300 W. MAIN STREET
TUESDAY, FEBRUARY 15, 2022 AT 4:30 PM**

MINUTES

CALL TO ORDER

Mayor Jensen called the meeting to order at 4:30 p.m.

PRESENT

Mayor Ron Jensen
 Mayor Pro Tem Mike Del Bosque
 Deputy Mayor Pro Tem Cole Humphreys
 Council Member District 1 Jorja Clemson
 Council Member at Large Place 7 Jeff Copeland
 Council Member at Large Place 8 Junior Ezeonu
 Council Member District 6 Kurt Johnson
 Council Member District 2 Dennis King
 Council Member District 4 John Lopez

STAFF PRESENTATIONS

1. Major League Cricket/American Cricket Enterprises/USA Cricket and Grand Prairie Stadium

Presented

2. EpicCentral Construction Update

Presented

AGENDA REVIEW

Mayor Pro Tem Del Bosque asked if there were any question on Consent Agenda items one through nineteen. Council Member Copeland advised the Finance and Government Committee reviewed items ten, thirteen, fourteen through sixteen and recommend their approval. Mayor Pro Tem Del Bosque advised the City Council Development Committee reviewed items twenty-three, twenty-four and twenty-five on Items for Individual Consideration and recommended the items be brought forth to City Council for consideration. Council Member Copeland asked for a briefing of these items. City Attorney Mahan mentioned these agenda items were presented to the City Council Development Committee and City Council on the same day for consideration due to the application deadline of March 1, 2022. Mayor Jensen asked how the City Council Development Committee voted on these agenda items. Mayor Pro Tem Del Bosque said the vote for agenda item twenty-three was two to one; agenda item twenty-four was two to one; and agenda item twenty-five was three to zero. Council Member Copeland inquired the current zoning of these locations. Mayor Jensen advised the zoning for agenda item twenty-three is multi family and agenda items twenty-four and twenty-five are not zoned. Mayor Jensen mentioned he has an issue with agenda items twenty-four and twenty-five since they are not zoned. Council Member

Copeland asked for further presentation at City Council meeting. Council Member Lopez said agenda item number seven is in Council District Two and agenda item eight is in Council District Four.

EXECUTIVE SESSION

Mayor Jensen called a closed session at 5:51 p.m. pursuant to Chapter 551, Subchapter D of the Government Code, V.T.C.A., to discuss Section 551.071 “Consultation with Attorney”, Section 551.072 “Deliberation Regarding Real Property” and Section 551.087 “Deliberations Regarding Economic Development Negotiations.”

RECESS MEETING

Mayor Jensen adjourned the closed door session, opened the regular meeting and called a recess at 6:33 p.m.

RECONVENE MEETING – 6:40 PM

Invocation led by Council Member Jorja Clemson.

Pledge of Allegiance to the US Flag and Texas Flag led by Council Member Ezeonu.

PRESENTATIONS

3. Proclamation Acknowledging National School Counseling Week

Mayor Jensen presented the proclamation to the Counselors of GPISD and thanked them for all their hard work and guidance given to the students.

Presented

4. Proclamation for Career and Technical Education (CTE) Month presented to Aniska Douglas, Executive Director of Grand Prairie Independent School District CTE

Mayor Jensen presented the proclamation to Aniska Douglas, Executive Director of GPISD CTE and thanked them for their efforts in providing the CTE programs to the GPISD students.

Presented

5. Big Event Briefing

Sara Dedeluk presented a briefing on the Big Event to take place on March 26, 2022. Council Member Clemson noted the City of Grand Prairie was the first municipality to hold an official Big Event.

Presented

CONSENT AGENDA

Mayor Pro Tem Del Bosque moved, seconded by Deputy Mayor Pro Tem Humphreys, to approve items six through nineteen noting the correction of agenda item number seven is in Council District Two and agenda item eight is in Council District Four. The motion carried unanimously, 9-0.

6. Minutes of the February 1, 2022, City Council Meeting and Amended Minutes of the January 4, 2022, City Council meeting

Approved On Consent

7. Forum Estates PID Contract with LandWorks for landscape maintenance \$101,647, beautification, \$50,000, and irrigation system maintenance services, \$11,000 for a one year term in the amount of \$162,647 (Council District 4)

Approved On Consent

8. Oak Hollow/Sheffield Village PID Contract with SPSD for landscape maintenance \$88,192.36, beautification, \$20,000, and irrigation system maintenance services, \$25,000 for a one year term in the amount of \$133,192.36 (Council Districts 4 and 6)

Approved On Consent

9. Change Order/Amendment No. 4 in the net negative amount of (\$25,739.75) with Excel Trenching for 30”/36” Robinson Road Waterline

Approved On Consent

10. Change Order/Amendment No. 4 with Hill & Wilkinson General Contractors in the amount of \$116,915.86 for final project closeout change orders regarding Phase 3 Construction of the City Hall Municipal Campus

Approved On Consent

11. Professional Services Contract with Halff Associates, Inc. for design and construction plan preparation for Wallingford PID Retaining Wall Improvements in the amount of \$70,600 plus a 5% contingency of \$3,530 for a total amount of \$74,130

Approved On Consent

12. Price agreement renewal #1 for handicap ramp repairs, residential and school sidewalk repairs with New Star Grading, in an amount not to exceed \$2,076,960, with a secondary, Axis Contracting, not to exceed an annual amount of \$2,049,400, and a tertiary with Parking Lot Pros, not to exceed an annual amount of \$2,125,680, if all extensions are exercised. Also authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City’s obligation during the renewal term(s)

Approved On Consent

13. Professional services contract with Dunaway Associates, L.L.C. in the amount of \$172,400 and approve a 5% contingency of \$8,620, total cost of \$181,020 for Phase I Construction Documentation and Construction Administration services for Turner Park. This item was presented to the Finance and Government Committee on February 1, 2022, and received a recommendation for approval by City Council

Approved On Consent

14. Ordinance amending the FY 2021/2022 Capital Improvements Projects Budget; Professional Engineering Contract with Freese & Nichols, Inc. in the amount of \$720,000, plus a 5% contingency of \$36,000 for a total of \$756,000 for a Water Master Plan update and Water/Wastewater Impact Fee update

Adopted

ORD 11160-2022

15. Ordinance amending the FY 2021/2022 Capital Improvement Projects Budget; and a Professional Engineering Contract with Gresham Smith for Wastewater Master Plan Update in the amount of \$1,421,004 plus 5% of contingency of \$71,050 for a total of \$1,492,054

Adopted

ORD 11161-2022

16. Ordinance amending the FY2021/2022 Capital Improvement Projects Budget; Change Order No. 1 to the Design/Building Contract with Outside the Lines (OTL) in the amount of \$250,000 for material escalation costs associated with the interactive water, light, and video projection entertainment attraction for EpicCentral

Adopted

ORD 11162-2022

17. Ordinance authorizing the execution of a Quitclaim Deed to the abutting property owner, ASD-CEI January Lane MM, LLC, of previously abandoned Old Duncan Perry right of way

Adopted

ORD 11163-2022

18. Resolution authorizing 380 Agreement with Brookfield Properties and expenditure of up to \$1,884,733 in property tax rebates for infrastructure improvements to develop 2003 MacArthur Boulevard (on January 18, 2022, Tax Increment Reinvestment Zone #1 voted unanimously to approve the request)

Adopted

RES 5255-2022

19. Resolution Designating A Portion of EpicCentral As A “Public Entertainment Zone”

Adopted

RES 5256-2022

PLANNING AND ZONING FOR INDIVIDUAL CONSIDERATION

20. STP-21-11-0024 - Site Plan – Retail Center (City Council District 2). Site Plan for a 10,150 Sq. Ft. retail building on 1.123 acres. Lot 2, Block A, 161 Toll Road Retail Corners Addition, City of Grand Prairie, Dallas County, Texas, Zoned PD-294, within the SH 161 Corridor Overlay District, with an approximate address of 3510 Highway 161 (On January 24, 2021, the Planning and Zoning Commission recommended approval by a vote of 7-0)

Chief City Planner Savannah Ware presented this item noting the applicant intends to construct a retail center that will include an optometrist’s office. Ms. Ware mentioned the structure is south of Ikea and will be a multiple tenant business. Applicant Gina Mclean, 721 S. 5th Avenue, Mansfield, TX mentioned the structure will look like the drawing presented. Council Member King moved, seconded by Mayor Pro Tem Del Bosque, to approve this item. The motion carried unanimously.

Approved

21. STP-21-11-0013 - Site Plan - Prologis Warehouse on 161 (City Council District 5). Site Plan for a 144,488 sq. ft. industrial warehouse on one lot on 9.28 acres. Lot 1, Block A, Prologis January Lane Addition, City of Grand Prairie, Dallas County, Texas, Zoned PD-406 District, within the SH-161 Corridor Overlay District, and addressed as 1101 N. SH 161 (On December 13, 2021, the Planning and Zoning Commission recommended approval by a vote of 5-2)

Chief City Planner Savannah Ware presented this item noting City Council previously tabled this item to give the developer time to revise the site plan and move the truck dock doors from the north side of the building to the south. Ms. Ware mentioned that on February 9, 2022 the applicant submitted revised plans depicting the truck dock doors on the south side of the building. Deputy Mayor Pro Tem Humphreys moved, seconded by Council Member Ezeonu, to approve this item. The motion carried unanimously. Mayor Jensen thanked the application for their efforts in revising the site plan as requested.

Approved

PUBLIC HEARING ZONING APPLICATIONS

22. SUP-21-10-0016 - Specific Use Permit for Hookah Lounge – 906 W Pioneer Pkwy, Ste 250 (City Council District 2). Specific Use Permit for Amusement Services to allow a hookah lounge. Lot 2, Block 1, Gibson Addition, City of Grand Prairie, Dallas County, Texas, Zoned PD-394 with General Retail (GR) uses, within the SH-161 Corridor Overlay District, and addressed as 906 W Pioneer Pkwy, Ste 250 (On December 13, 2021, the Planning and Zoning Commission recommended denial by a vote of 7-0)

Mayor Jensen mentioned council has received a full briefing and presentation on this item. Former Council Member Tony Shotwell, 309 NE 31st Street, Grand Prairie, TX representing the applicant. Mr. Shotwell mentioned a new operational plan has been established and is present to answer any questions in this regard. Mr. Shotwell said the applicant is selling the other location that has had issues. Council Member King understands the revised operational plan and inquires on the sale of drinks. City Manager Steve Dye mentioned in a smoking facility you cannot prepare food or sell drinks due to a contamination issue. Mr. Shotwell said alcohol will not be sold or consumed on property. Council Member Johnson said can't sell the sodas, and you can't bring alcohol and doesn't understand the concern. Council Member Johnson inquired if staff would check identification and bags. Mayor Jensen mentioned the concern is underage smoking. Council Member Ezeonu mentioned the importance of using a wristband or a mark on the hand to identify the patrons that can and cannot smoke. Council Member King asked if security would be present from sunset until an hour after closing. Mr. Shotwell stated if necessary but did not see a need as no alcohol would be sold. Council Members Lopez and Ezeonu recommended staff to monitor the parking lot an hour after closing. Council Member Copeland noted that a security requirement at this time is an unreasonable burden and can be added if needed at the time of SUP renewal. Council Member King inquired if there would be onsite gambling. City Attorney Megan Mahan mentioned eight liners can be operated. Mr. Shotwell stated there would be no gambling on site. Council Member Lopez inquired on staff training. Mr. Shotwell noted the operator takes full responsibility in training all personnel. Council Member Copeland mentioned he would have zero leniency at the time of SUP review if there were any issues at this establishment. Mayor Pro Tem Del Bosque noted that this is a smoking lounge with no alcohol. Mayor Jensen mentioned we are being tough because of the history with the applicant and not the business and did not want to have any problems at this location. Council Member King moved, seconded by Council Member Johnson, to close the public hearing and approve this item authorizing the Amusement Use of Hookah Lounge at 906 W. Pioneer Pkwy, Ste 250 with all the conditions we discussed which includes prohibiting alcohol, eight liners, and food service on site; checking id's at the door and providing wristbands for those over 21; operating only between 10am and 12 midnight; employee are going to follow the law; and the SUP will be reviewed in 6 months. The motion carried unanimously.

Adopted

ORD 11164-2022

ITEMS FOR INDIVIDUAL CONSIDERATION

23. Resolution of Support or Resolution of No Objection for a Senior Living Tax Credit Housing Development at 1410 Duncan Perry Road (City Council Development Committee reviewed on 02/15/2022)

Mayor Jensen mentioned two speakers are present for this item. Deputy Mayor Pro Tem Humphreys mentioned he needs an explanation on this item before consideration. Director of Planning & Development Rashad Jackson advised city staff received an inquiry from Saigebrook Development and O-SDA Industries to approve a resolution of support for a Senior Tax Credit Housing Development called Lapid Flats, a proposed 69-unit mixed income

community serving seniors at least 55 and older. Deputy Mayor Tem Humphreys mentioned he cannot support this item as he is in favor of the rehab tax credit in his district that would allow for affordable housing and rehab. Housing and Neighborhood Services Director Esther Coleman noted this project does meet the tax credit policy criteria. Ms. Coleman also mentioned the developer has good background, experience and has senior property project in Ft. Worth. Applicant Rodney Anderson, 548 Edgeview Drive, Grand Prairie, TX informed council he would not bring a project that would have a variance. Mr. Anderson noted he would appreciate council support for the letter of support. Deputy Mayor Pro Tem Humphreys asked for support of operation rehab. Mayor Pro Tem Del Bosque mentioned this item was presented to the City Council Development Committee at their meeting today. Mayor Pro Tem Del Bosque moved, seconded by Council Member Lopez to approve the Resolution of Support. The motion carried with a vote of 8-1; Deputy Mayor Pro Tem Humphreys voted nay.

Adopted

RES 5257-22022

24. Resolution of Support or Resolution of No Objection for a Senior Living Tax Credit Housing Development at 2904 S Carrier Pkwy (City Council Development Committee reviewed on 02/15/2022)

Director of Planning and Development Rashad Jackson mentioned city staff received an inquiry from Blue Sky Communities to approve a resolution of support for a senior living tax credit development called South Carrier Estates. South Carrier Estates would be a mixed income community with approximately 114 apartment units. A 3-story complex would be developed on the 4.17-acre site. Project details are attached. The property is currently zoned PD-168 for Commercial/Office uses. The future land use map calls for the property to develop as Commercial/Retail/Office. Housing and Neighborhood Services Director Esther Coleman mentioned the developer is Blue Sky and all their projects are out of state. Mayor Pro Tem Del Bosque moved, and Mayor Jensen acknowledge the motion failed due to no second.

Denied

25. Resolution of Support or Resolution of No Objection for an Affordable Housing Development at 3200 Corn Valley (City Council Development Committee reviewed on 02/15/2022)

Housing and Neighborhood Services Director Esther Coleman mention this does not meet the criteria. Mayor Jensen noted it would also require a zoning change. Mayor Pro Tem Del Bosque moved, seconded by Council Member Lopez, and Mayor Jensen acknowledge the motion fails 8-1; Mayor Jensen, Deputy Mayor Pro Tem Humphreys, Council Members Clemson, King, Ezeonu, Johnson, Copeland and Lopez voted may.

Denied

CITIZEN COMMENTS

David Nuckols, 8560 Sweetwater Drive, Dallas, TX spoke to voice his concern and disagreement with the Grand Prairie Police Department.

ADJOURNMENT

Mayor Jensen adjourned the meeting at 7:57 p.m.

The foregoing minutes were approved at _____ City Council meeting.

Gloria Colvin, Deputy City Secretary



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Anda Upchurch

PRESENTER: Angi Mize, Purchasing Manager

TITLE: Assignment of Contract(s) for compound pharmaceuticals from Roadrunner Pharmacy to WA Butler Company dba Covetrus North America, LLC in the annual amount of \$28,507.46 for one year, with the option to renew for one (1) additional one-year renewal, for a total of \$57,014.92 if all extensions are executed. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

RECOMMENDED ACTION: Approve

ANALYSIS:

The purchase of compound pharmaceutical vet drugs for the animal shelter and spay/neuter clinic is to prevent disease and the spread of disease in the shelter. All animals sheltered are vaccinated upon entering the facility. The spay/neuter clinic opened in July 2014 and since then all animals being adopted from Prairie Paws are sterilized and have a rabies vaccination. The price agreement with Roadrunner Pharmacy will be utilized to purchase supplies needed for spay/neuter clinic operations, shelter vaccinations and ongoing expendable supplies.

On June 5, 2018 City Council approved a price agreement for compound pharmaceutical vet drugs for the animal shelter and spay/neuter clinic from Roadrunner Pharmacy in the amount of \$35,867.46 annually for one year with the option to renew for four additional one-year periods totaling \$179,337.30 if all extensions are exercised.

On June 28, 2018 City staff executed a change order to remove the liquid form of one medication and replace it with tablets. This change resulted in an overall decrease of \$7,360.00 to the estimated annual amount, for a revised annual contract amount of \$28,507.46.

Since 2018, the price agreement has been renewed three times, with the current term expiring May 31, 2022.

On February 3, 2022, the City received notice that Roadrunner Pharmacy had been acquired by WA Butler Company dba Covetrus North America. If approved, an assignment of contract will be executed for WA Butler Company dba Covetrus North America to assume the contract at the same pricing, terms, and conditions, and any future renewals will be to WA Butler Company dba Covetrus North America.

FINANCIAL CONSIDERATION:

Funding is available in FY 2021/2022 General Fund budget, Animal Services (283410) for veterinarian supplies (60235) and will be charged accordingly. Funding for future fiscal years will be paid from that year's approved budget.



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: Ryan Simpson

PRESENTER: Ryan Simpson, Assistant Director of Police

TITLE: Purchase of Panasonic "Toughbook" rugged mobile laptops and docking stations for the Police Department from GTS Technology Solutions (GTS) in the amount of \$145,347.02, through a cooperative agreement with the Department of Information Resources (DIR)

RECOMMENDED ACTION: Approve

ANALYSIS:

The Police Department is seeking to purchase twenty-six (26) rugged mobile laptops and docking stations, for installation in budgeted new and replacement Police vehicles.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master inter-local cooperative agreements with various entities including DIR.

DIR provides statewide leadership and oversight for management of government information and communications technology. DIR has served in a leadership role to facilitate the state's economic competitiveness through its ability to deliver quality information resources commodities and services at the lowest prices and best value for state and local government as well as the K-12 public and higher education systems

GTS Technology Solutions through their DIR contract as an authorized reseller offers the Panasonic products the City requires.

The contract, DIR-TSO-4025, will expire 11/10/2022.

FINANCIAL CONSIDERATION:

Funding for the purchase is available in the Police Department's FY 2022 Equipment Acquisition Fund budget (287010), in the amount of \$83,854.05; and General Fund budget (283210), in the amount of \$61,492.97.



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Cindy Mendez

PRESENTER: Cindy Mendez, Director of Public Health & Environmental Quality

TITLE: Contract with Tyler Technologies for software support and maintenance in the amount of \$9,766.00. This agreement will be for one year with the option to renew for four (4) additional one-year periods totaling \$53,959.00 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City’s obligation during the renewal terms

RECOMMENDED ACTION: Approve

ANALYSIS:

Public Health and Environmental Quality Divisions utilize Tyler Technologies software, The Digital Health Department, to track all health inspections, environmental inspections, complaints, and for reporting activities. Tyler Technologies has been our software provider since 2007. The software module and maintenance are considered a sole source.

Local government code 252 provides an exemption from the competitive bid process when an item or service is available from only one source, of which Tyler Technologies is the sole vendor in providing this module and annual software support and maintenance services.

<u>Year</u>	<u>Estimated Annual Cost</u>	<u>Estimated Cumulative Cost</u>
Year 1 – Maintenance	\$9,766	\$9,766
Year 2 - Maintenance	\$10,254	\$20,020
Year 3 - Maintenance	\$10,766	\$30,786
Year 4 - Maintenance	\$11,304	\$42,090
Year 5 – Maintenance	\$11,869	\$53,959

FINANCIAL CONSIDERATION:

Funding is available in the Annual IT Maintenance Fund 151010-63165. Funding for future fiscal years will be paid from that year’s approved budgets.



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 3/1/2022

REQUESTER: Lee Harriss

PRESENTER: Lee Harriss, Special District Administrator

TITLE: Parkview PID Contract with Site Landscape Development for landscape maintenance \$35,460.02, beautification, \$24,621.07, and irrigation system maintenance services, \$3,500 for a one year term in the amount of \$63,581.09 (Council District 1)

RECOMMENDED ACTION: Approve

ANALYSIS:

The PID Board recommended that Site Landscape Development be awarded a contract in the amount of \$63,581.09 for landscape maintenance \$35,460.02, beautification, \$24,621.07, and irrigation system maintenance services, \$3,500. The term extends from March 1, 2022 through February 28, 2023. Site Landscape Development had the contract last year and performed satisfactorily.

Texas Local Government Code, Chapter 252.022 (a) (9) exempts public improvement districts from competitive bidding requirements. Per that statute, the PID Advisory Board is empowered to enter into contracts such as the one with Site Landscape Development, Inc. following approval by the City Council.

FINANCIAL CONSIDERATION:

Funds for this contract are available from annual assessments adopted by the City Council on September 21, 2021, which are estimated to generate \$89,647 for the fiscal year.

**Exhibit A
GRAND PRAIRIE PUBLIC IMPROVEMENT DISTRICT NO. 12
Parkview
Five Year Service Plan 2022 - 2026**

**Income based on Assessment Rate of \$0.215 per \$100 of appraised value.
Service Plan projects a 1% increase in assessed value per year.**

INCOME:		Value	Assess Rate	Revenue		
Appraised Value		\$41,696,374	\$ 0.215	\$ 89,647		
Description	Account	2022	2023	2024	2025	2026
Beginning Balance (Estimated)		\$ 118,000	\$ 113,265	\$ 115,276	\$ 116,985	\$ 118,341
P.I.D. Assessment	42620	\$ 89,647	\$ 90,544	\$ 91,449	\$ 92,364	\$ 93,287
Developer Participation/Projects	46110	8,500	8,500	8,500	8,500	8,500
City Contribution	49780	415	415	415	415	415
TOTAL INCOME		\$ 98,562	\$ 99,459	\$ 100,364	\$ 101,279	\$ 102,202
Amount Available		\$ 216,562	\$ 212,723	\$ 215,640	\$ 218,264	\$ 220,543
EXPENSES:		2022	2023	2024	2025	2026
Description						
Office Supplies	60020	\$ 100	\$ 100	\$ 100	\$ 100	\$ 100
Beautification	60490	6,000	6,000	6,000	6,000	6,000
Wall Maintenance	60776	25,000	18,000	18,000	18,000	18,000
Mowing Contractor	61225	35,460	35,460	35,460	35,460	35,460
Collection Service (\$2.90/acct)	61380	653	653	653	653	653
Misc.	61485	225	225	225	225	225
Admin./Management	61510	7,140	7,140	7,140	7,140	7,140
Postage	61520	120	120	120	120	120
Electric Power	62030	2,000	2,100	2,205	2,315	2,431
Water Utility	62035	21,000	22,050	23,153	24,310	25,526
Irrigation System Maint.	63065	3,500	3,500	3,500	3,500	3,500
Decorative Lighting Maintenance	63146	1,500	1,500	1,500	1,500	1,500
Property Insurance Premium	64080	400	400	400	400	400
Liability Insurance Premium	64090	200	200	200	200	200
Other Improvement	68020	-	-	-	-	-
TOTAL EXPENSES		\$ 103,298	\$ 97,448	\$ 98,655	\$ 99,923	\$ 101,254
Ending Balance*		\$ 113,265	\$ 115,276	\$ 116,985	\$ 118,341	\$ 119,289

Avg. Annual Assessment by Home Value:

Value	Yrly Assmnt.		
\$150,000	\$323		
\$175,000	\$376		
\$200,000	\$430	Avg. Property Value:	\$ 185,317
\$225,000	\$484	Avg. Property Assessment:	\$ 398
\$250,000	\$538	No. of Properties:	225
\$275,000	\$591		
\$300,000	\$645		
\$325,000	\$699		

*Future wall replacement



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: Lee Harriss

PRESENTER: Lee Harriss, Special District Administrator

TITLE: Westchester PID Contract with Classic Construction and Restoration, Inc. for wall replacement for one year in the amount of \$51,360 (Council Districts 2 and 6)

RECOMMENDED ACTION: Approve

ANALYSIS:

The PID Board recommended that Classic Construction and Restoration, Inc. be awarded a contract for tree services. The term extends from January 15, 2022 through January 31, 2023.

Texas Local Government Code, Chapter 252.022 (a) (9) exempts public improvement districts from competitive bidding requirements. Per that statute, the PID Advisory Board is empowered to enter into contracts such as the ones with Arbor Masters Tree Service following approval by the City Council.

FINANCIAL CONSIDERATION:

Funds for this contract are available from annual assessments adopted by the City Council on September 21, 2021, which are estimated to generate \$1,088,222 for the fiscal year.

Exhibit A
GRAND PRAIRIE PUBLIC IMPROVEMENT DISTRICT NO. 1
Westchester
Five Year Service Plan 2022 - 2026 BUDGET

Income based on Assessment Rate of \$0.10 per \$100 of appraised value.
Service Plan projects a 2% increase in assessed value per year.

INCOME:	Value	Assess Rate	Revenue			
Appraised Value	\$1,088,222,390	\$ 0.10	\$ 1,088,222			
Description	Account	2022	2023	2024	2025	2026
Beginning Balance (Estimated)		\$ 958,000	\$ 536,829	\$ 325,462	\$ 165,137	\$ 115,597
P.I.D. Assessment	42620	\$ 1,088,222	\$ 1,109,986	\$ 1,132,186	\$ 1,154,830	\$ 1,177,926
City Contribution	49780	33,500	33,500	33,500	33,500	33,500
TOTAL INCOME		\$ 1,121,722	\$ 1,143,486	\$ 1,165,686	\$ 1,188,330	\$ 1,211,426
Amount Available		\$ 2,079,722	\$ 1,680,315	\$ 1,491,148	\$ 1,353,467	\$ 1,327,024
EXPENSES:		2022	2023	2024	2025	2026
Description						
Office Supplies	60020	\$ 1,800	\$ 1,800	\$ 1,800	\$ 1,800	\$ 1,800
Decorations	60132	30,000	30,000	30,000	30,000	30,000
Beautification ¹	60490	322,000	322,000	322,000	322,000	322,000
Wall Maintenance ²	60776	75,000	75,000	50,000	50,000	50,000
Professional Engineering Services ³	61041	12,000	12,000	12,000	12,000	12,000
Mowing Contractor ⁴	61225	276,000	276,000	276,000	276,000	276,000
Tree Services ⁵	61226	86,250	86,250	86,250	86,250	86,250
Collection Service (\$2.90/Acct)	61380	9,593	9,593	9,593	9,593	9,593
Misc.	61485	1,000	1,000	1,000	1,000	1,000
Admin./Management	61510	27,000	27,000	27,000	27,000	27,000
Postage	61520	50	50	50	50	50
Electric Power	62030	6,000	6,300	6,615	6,946	7,293
Water Utility ⁶	62035	126,500	132,825	139,466	146,440	153,762
Irrigation System Maint. ⁷	63065	53,000	53,000	41,850	46,035	50,639
Decorative Lighting Maintenance ⁸	63146	15,000	15,000	15,000	15,000	15,000
Property Insurance Premium	64080	4,200	4,410	4,631	4,862	5,105
Liability Insurance Premium	64090	2,500	2,625	2,756	2,894	3,039
Fencing ⁹	68061	415,000	300,000	300,000	200,000	100,000
Construction ¹⁰	68540	80,000	-	-	-	-
		-	-	-	-	-
TOTAL EXPENSES		\$ 1,542,893	\$ 1,354,853	\$ 1,326,011	\$ 1,237,870	\$ 1,150,531
Ending Balance		\$ 536,829	\$ 325,462	\$ 165,137	\$ 115,597	\$ 176,493

Avg. Annual Assessment by Home Value:

Value	Yrly Assmnt.	Avg. Property Value:	\$ 328,967
\$100,000	\$100	Avg. Property Assessment:	\$ 329
\$150,000	\$150	No. of Properties:	3,308
\$200,000	\$200		
\$250,000	\$250		
\$300,000	\$300		
\$350,000	\$350		
\$400,000	\$400		
\$450,000	\$450		

1 2021 Winter Kill Removal; Chandra/Bardin Rehab; Westchester General Landscaping Rehab; Westchester Parkway Landscape Enhancement; Replace/Add Trees/Plantings - Dechman Extension; Entrance Enhancements; Mow tall grass to tree line in wildflower area; Seeding of wildflower area; Repair Art Murals

2 Vision: Site Line; Recurring Small Job Maintenance Contract; Metal Fence Repaint

3 Engineering risk management to hardscape projects; Easement concerns; Design of entrances, beds, enhancements;

4 Dechman Extension Scope Add; Review/reduce mow areas; NO non-recurring expenses in budget acct

5 Additional tree maintenance and removal for replantings; Mistletoe mitigation; Periodic storm clean up;

6 Manage water usage; Scope Add: Dechman + Westchester Crossing + I20 Carrier Relandscape/Rehab ; Incorporate H2O program into Site management responsibility

7 Considering age of system with better managed \$\$; Westchester Crossing + I20 Carrier Rebuild/Rebuild; Evaluate more efficient systems in critical areas; Incorporate H2O program into Site management responsibility

8 Lighting repairs/replacements; Westchester Crossing Upgrade; LED fixture upgrades

9 Wrought Iron Fence paint touch-up; Hills of Westchester Wall repair - ongoing; Rehab Existing Entrance Monuments; Dechman @ Bardin Demolish/Build Entrance Monument; Dechman Extension Fence Installation

10 Add./Rehab Entry Monuments: Westchester Crossing; New Entrance Enhancements: Structures/Lighting; Art Projects; Emergency Issues Out of Scope



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 3/1/2022

REQUESTER: Lee Harriss

PRESENTER: Lee Harriss, Special District Administrator

TITLE: Lake Parks PID Contract with Site Landscape Development for landscape maintenance \$119,085.42, beautification, \$85,000, and irrigation system maintenance services, \$12,000 for a one year term in the amount of \$216,085.42 (Council Districts 4 and 6)

RECOMMENDED ACTION: Approve

ANALYSIS:

The PID Board recommended that Site Landscape Development be awarded a contract in the amount of \$216,085.42 for landscape maintenance \$119,085.42, beautification, \$85,000, and irrigation system maintenance services, \$12,000. The term extends from May 1, 2022 through April 30, 2023. Site Landscape Development had the contract last year and performed satisfactorily.

Texas Local Government Code, Chapter 252.022 (a) (9) exempts public improvement districts from competitive bidding requirements. Per that statute, the PID Advisory Board is empowered to enter into contracts such as the one with Site Landscape Development, Inc. following approval by the City Council.

FINANCIAL CONSIDERATION:

Funds for this contract are available from annual assessments adopted by the City Council on September 21, 2021, which are estimated to generate \$415,751 for the fiscal year.

**Exhibit A
GRAND PRAIRIE PUBLIC IMPROVEMENT DISTRICT NO. 7
Lake Parks
Five Year Service Plan 2022 - 2026 BUDGET**

**Income based on Assessment Rate of \$0.11 per \$100 of appraised value.
Service Plan projects a 1% increase in assessed value per year.**

INCOME:		Value	Assess Rate	Revenue		
Appraised Value		\$377,955,148	\$ 0.11	\$ 415,751		
Description	Account	2022	2023	2024	2025	2026
Beginning Balance (Estimated)		\$ 133,000	\$ 157,608	\$ 183,524	\$ 210,646	\$ 238,868
P.I.D. Assessment	42620	\$ 415,751	\$ 419,908	\$ 424,107	\$ 428,348	\$ 432,632
City Contribution	49780	12,179	12,179	12,179	12,179	12,179
TOTAL INCOME		\$ 427,930	\$ 432,087	\$ 436,286	\$ 440,527	\$ 444,811
Amount Available		\$ 560,930	\$ 589,695	\$ 619,810	\$ 651,174	\$ 683,678

EXPENSES:		2022	2023	2024	2025	2026
Description						
Office Supplies	60020	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000
Decorations	60132	40,000	40,000	40,000	40,000	40,000
Beautification	60490	85,000	85,000	85,000	85,000	85,000
Wall Maintenance	60776	5,000	5,000	5,000	5,000	5,000
Mowing Contractor	61225	116,671	116,671	116,671	116,671	116,671
Collection Service (\$2.90/acct)	61380	3,700	3,700	3,700	3,700	3,700
Misc.	61485	1,400	1,400	1,400	1,400	1,400
Admin./Management	61510	18,900	18,900	18,900	18,900	18,900
Postage	61520	50	50	50	50	50
Electric Power	62030	16,000	16,800	17,640	18,522	19,448
Water Utility	62035	41,000	43,050	45,203	47,463	49,836
Pond/Canal Maintenance-Aquatic	63038	36,000	36,000	36,000	36,000	36,000
Pond/Canal Maintenance-Equip	63039	10,000	10,000	10,000	10,000	10,000
Irrigation System Maint.	63065	12,000	12,000	12,000	12,000	12,000
Playground/Picnic Area Maintenan	63135	4,500	4,500	4,500	4,500	4,500
Decorative Lighting Maintenance	63146	10,000	10,000	10,000	10,000	10,000
Property Insurance Premium	64080	900	900	900	900	900
Liability Insurance Premium	64090	1,200	1,200	1,200	1,200	1,200
Fencing	68061	-	-	-	-	-
Lighting	68637	-	-	-	-	-
Construction Miscellaneous	68151	-	-	-	-	-
Construction	68540	-	-	-	-	-
TOTAL EXPENSES		\$ 403,321	\$ 406,171	\$ 409,164	\$ 412,306	\$ 415,605
Ending Balance*		\$ 157,608	\$ 183,524	\$ 210,646	\$ 238,868	\$ 268,073

Avg. Annual Assessment by Home Value:

Value	Yrly Assmnt.		
\$100,000	\$110		
\$150,000	\$165		
\$200,000	\$220	Avg. Property Value:	\$ 296,203
\$250,000	\$275	Avg. Property Assessment:	\$ 326
\$300,000	\$330	No. of Properties:	1,276
\$350,000	\$385		
\$400,000	\$440		
\$450,000	\$495		

*Pond dredging, brick wall replacements (Matthew, Doryn, entrances)



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: Megan Mahan

PRESENTER: Megan Mahan, City Attorney

TITLE: Authorize payment of \$94,957.13 to McGriff Insurance Services, Inc. for renewal of the City's Cyber Liability policy with Underwriters at Lloyd's of London for the period of February 4, 2022, through February 4, 2023.

RECOMMENDED ACTION: Approve

ANALYSIS:

After the City suffered a ransomware attack in 2019, the City increased its cyber liability coverage in 2020. Due to an increase in cyber attacks globally and a continued decrease in insurers offering cyber liability policies to government entities, the cost of the City's cyber liability policy increased from \$63,741.94 to \$94,957.13.

Local Government Code §252.024 allows the City to use a licensed insurance broker as the sole broker of record to obtain proposals and coverages for insurance. McGriff Insurance Services, Inc. is the City's insurance broker of record and had requested proposals on the City's behalf. Underwriters at Lloyd's of London is one of the few insurers willing to insure government entities and provided the City's desired level of coverage at the best price.

FINANCIAL CONSIDERATION:

Funding in the amount of \$94,957.13 is available from FY 2022/2023 Risk Fund HR Legal Services (212110) Liability Insurance Premium (64090).



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Mark Divita

PRESENTER: Mark Divita, Airport Director

TITLE: Appoint two (2) members and one (1) alternate member to the Joint Airport Zoning Board to amend the Height Hazard Map in accordance with update guidelines from the Federal Aviation Administration

RECOMMENDED ACTION: Approve

ANALYSIS:

On February 4, 1985, the Joint Airport Zoning Board of the City of Grand Prairie, Texas, and the City of Arlington, Texas (“Joint Airport Zoning Board”) adopted the Grand Prairie Municipal Airport Hazard Zoning Ordinance (“Airport Ordinance”) which detailed various height and width requirements for buildings, runways, approach zones, and transition zones in and around the Grand Prairie Municipal Airport. Due to updated guidelines from the Federal Aviation Administration, the Joint Airport Zoning Board must reconvene and amend the Airport Ordinance to effect changes to the Airport’s Height Hazard Map required by the FAA.

As prescribed by the Airport Ordinance, the City of Grand Prairie and the City of Arlington shall each appoint to the Joint Airport Zoning Board two (2) members, Howard W. Gray and John Williams and one (1) alternate member Homer Webb. There are presently no members of the Joint Airport Zoning Board or alternates appointed by the City of Grand Prairie or the City of Arlington. Accordingly, the City of Grand Prairie must appoint two (2) members and one (1) alternate member to the Joint Airport Zoning Board. The City of Arlington is doing the same, reportedly at its first meeting in March.

FINANCIAL CONSIDERATION:

None



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Noreen Housewright

PRESENTER: Gabe Johnson, Director of Engineering and Public Works

TITLE: Participation Agreement with 1301 Parker Rd, LLC for Right of Way Improvements in the total amount of \$131,014.75

RECOMMENDED ACTION: Approve

ANALYSIS:

Landowner 1301 Parker Rd, LLC has acquired 18.351 acres within the city limits of Grand Prairie. To accommodate Landowner's development of the property as a truck terminal, the City requires paving and drainage improvements to a part of Parker Road adjacent to the property. The City also requires that the relevant right of way be expanded to a width of approximately 60 feet which includes or will include the City acquisition of land adjacent to the existing relevant right of way. The Developer has asked the City to participate in 25% of the total project cost of \$524,059.00, which equates to a payment of \$131,014.75 from the City.

Subchapter C of Chapter 212 of the Texas Local Government Code allows a municipality to be exempted from said competitive bidding procedures in cases where said municipality desires to enter into a contract with a developer of a subdivision of land in said municipality, wherein the municipality agrees to participate in the cost of public improvement projects, not including a building, if a City's level of participation is limited to no more than 30% of the contract price.

FINANCIAL CONSIDERATION:

Funding will be provided from Storm Drainage Capital Projects Fund (401592) W.O. 02206203 (FY22 Developer Participation) for drainage and paving improvements and unobligated fund balance in Water and Wastewater Capital Projects Funds for the Water and Sewer Improvements.



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Chris Agnew

PRESENTER: Gabe Johnson, Director of Public Works and Romin Khavari, City Engineer

TITLE: Final Reconciliation Change Order No. 3 with La Banda, LLC for Dickey Road Storm Drain Improvements West of S.W. 3rd Street in the net negative amount of \$24,740.00

RECOMMENDED ACTION: Approve

ANALYSIS:

On Tuesday, September 1, 2021, the City of Grand Prairie awarded a contract for Dickey Road Storm Drain Improvements West of S.W. 3rd Street, (W.O. #619.64). for \$2,139,761.00.

Change order No. 1 was approved by City Council action on September 1, 2020. The change order allowed for additional square yards of pavement replacement and additional sidewalk replacement, modified Type B storm drain junction boxes in place of Type A and NCTCOG junction boxes due to depth of installation, increased for three additional water service line relocations and increased for 47 linear feet of additional wastewater main replacement and 54 linear feet for replacement of two wastewater service lines. The total change order amount of change order 1 was \$30,130.

Change Order No. 2 allowed for additional reinforced concrete pavement, curbs, and sidewalks. It also addition new domestic water service at 3 locations. The total change order amount of change order 2 was \$26,243.00.

The current Final Reconciliation Change Order No. 3 allows for final quantity adjustment for, 10' recessed curb inlet, storm drain manhole, adjustment of 1" domestic water service with meter box, concrete encasement of water main, cast iron fittings and other miscellaneous items of work. No increase, total decrease is \$24,740 for a net negative of \$24,740 and a cumulative of \$24,740.

Construction is complete.

FINANCIAL CONSIDERATION:

State statutes require City Council approval of a change order when the cumulative cost of change orders exceeds \$50,000. With approval of this change order, the City Manager will be able to approve the change order to a cumulative value of \$50,000 without additional Council approval.

Cumulative amount of Change Order 2 was **\$32,243.00** (\$29,243.00 positive and \$3,000.00 negative) and the current final reconciliation Change Order 3 is **\$24,740** (\$0 positive and \$24,740.00 negative) for a cumulative combined total of **\$56,983.00** which requires council approval.

No funding is required for this final reconciliation change order.

Original project funding was located in the Storm Drainage Capital Projects Fund (401592) W.O. 01906403 (Dickey Road Storm Drain Improvements), Water Capital Projects Fund (500592) W.O. 01917503 (Dickey Rd WTER) and Wastewater Capital Projects Fund (500692) W.O. 01917603 (Dickey Rd WWST).



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: George Fanous, P.E.

PRESENTER: Gabe Johnson, Director of Engineering and Public Works and Romin Khavari, City Engineer

TITLE: Change Order/Amendment No. 1 with Excel 4 Construction in the net negative amount of (\$135,473.00) for pipe size revisions of sanitary sewer outfall reach north of Arkansas lane to Trinity River Authority (TRA) Cottonwood interceptors and a TRA fiber reinforced drop manhole on Skyway and Small Street Sewer Improvements

RECOMMENDED ACTION: Approve

ANALYSIS:

On November 16, 2021, the City Council approved a construction contract with Excel 4 construction for Skyway Drive and Small Street sewer improvements in the amount of \$1,008,700.00; 5% Construction contingency of \$50,435.00, material testing with Team Consultants in the amount of \$21,717.00; in house engineering in the amount of \$50,435.00 for a total of \$1,131,287.

This project provides for the installation of approximately 2900 linear feet of 8", 12" and 21" wastewater pipe in Skyway, Arkansas and Astar lanes and 1017 linear feet of 12" wastewater pipe in Small street from Beltline Road to N.E 11th Street. Pipe construction will utilize open-cut and trenchless methods.

Proposed Change Order/Addendum No.1 in the net negative amount of (\$135,473.00) provides for pipe size revisions of sanitary sewer outfall reach north of Arkansas lane to Trinity River Authority (TRA) Cottonwood interceptor; it also provides for TRA Fiber reinforced drop manhole.

This change order Provides for a total increase of \$127,894.00 and a total decrease of (\$263,367.00) for a cumulative amount of \$391,261.00 and a net negative amount of (\$135,473.00).

The completion date will be revised to July 20, 2022.

FINANCIAL CONSIDERATION:

No funding is required for the current Change Order/Amendment No. 1. Funds resulting from this Change Order/Amendment No. 1 will be moved to the contract contingency.

State statutes require City Council approval of a change order when the cumulative cost of the change order exceeds \$50,000. With approval of this change order, the City Manager will be able to approve the change order to a cumulative value of \$50,000 without additional Council approval.

Original project funding is located in Wastewater Capital Projects Fund (500692) W.O. #02011601 (3-3 12-inch gravity line Small) and Wastewater Capital Projects Fund (500692) W.O. #02011801 (3-4 12-inch gravity line Skyway).



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Glenda Peterson, Sr Financial Analyst

PRESENTER: Dane Stovall, Assistant Director, Public Works

TITLE: Price agreement for Guard Rail Removal and Installation with Vann Elli, Inc., at an estimated annual cost of \$290,100. This agreement will be for one year with the option to renew for four additional one-year periods totaling \$1,450,500 if all extensions are exercised. Also authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal term(s)

RECOMMENDED ACTION: Approve

ANALYSIS:

Guard rails are designed and installed to protect errant vehicles from leaving the roadway and striking a fixed object, steep slope, or body of water. Many of the guard rails within the City are in need of maintenance due to either natural deterioration or by vehicular accidents.

Notice of bid # 22059 was advertised in the Fort Worth Star Telegram and Public Purchase; it was distributed to 20 vendors. There was one Grand Prairie vendor for available for this commodity. Three bids were received as shown on Attachment A.

The low bid from Vann Elli, Inc. meets specifications and is recommended for award.

FINANCIAL CONSIDERATION:

Funds will be available in FY 2021/2022 Street Maintenance Capital Improvement Project Funds (400192), FY22 Guardrail Repairs funds will be available upon the sale of bonds. Funds are available from various departments throughout the City on an as-needed basis and will be charged accordingly through the end of the fiscal year. Funding for future fiscal years will be paid from that year's approved budgets.

**GUARD RAIL INSTALLATION & REMOVAL
RFB #22059
TABULATION**

Grand Prairie TEXAS Dream Big Play Hard		Bid Tabulation Guard Rails Installation & Removal RFB #22059		Vann Elli, Inc. Joshua, TX		JE Casey, LLC Grand Prairie, TX		Odum Services, LLC Marshall, TX	
Item	Description	QTY	UOM	Unit Price	Extended Price	Unit Price	Extended Price	Unit Price	Extended Price
1	Metal Beam Guard Fence, 12 gauge timber post, installed 28" or 31"	2,000.00	LF	30.00	60,000.00	30.41	60,820.00	40.00	80,000.00
2	Metal Beam Guard Fence, Black Out, 12 gauge timber post, installed 28" or 31"	2,000.00	LF	33.00	66,000.00	32.86	65,720.00	42.00	84,000.00
3	Metal Beam Guard Fence, Black Out, 12 gauge timber post, installed 28" or 31"	100.00	LF	40.00	4,000.00	41.43	4,143.00	50.00	5,000.00
4	Metal Beam Guard Fence, Remove and Reset 12 gauge	200.00	LF	20.00	4,000.00	25.00	5,000.00	20.00	4,000.00
5	Bridge End Shoes, installed	10.00	EA	200.00	2,000.00	649.00	6,490.00	450.00	4,500.00
6	Bridge End Shoes, Trie-Beam installed	15.00	EA	350.00	5,250.00	764.00	11,460.00	650.00	9,750.00
7	Metal Beam Guardrail fence Thrie-Beam Install Assembly 28" or 31"	10.00	EA	2,800.00	28,000.00	2,332.00	23,320.00	2,500.00	25,000.00
8	Terminal Anchor Section, installed	15.00	EA	800.00	12,000.00	1,617.00	24,255.00	1,675.00	25,125.00
9	Terminal Anchor Section, removal	15.00	EA	200.00	3,000.00	200.00	3,000.00	150.00	2,250.00
10	Steel Post with Base Plate, installed	25.00	EA	500.00	12,500.00	382.00	9,550.00	200.00	5,000.00
11	Removal of Guardrail Fence	100.00	LF	3.00	300.00	3.00	300.00	5.00	500.00
12	Single Guard Rail Terminal, installed	10.00	EA	4,200.00	42,000.00	3,908.00	39,080.00	4,200.00	42,000.00
13	Timber Post with Blockout, installed	10.00	EA	75.00	750.00	51.00	510.00	95.00	950.00
14	Timber Post replaced	10.00	EA	70.00	700.00	60.00	600.00	85.00	850.00
15	Cable Assembly - for Guardrail repair	5.00	EA	100.00	500.00	143.00	715.00	500.00	2,500.00
16	Downstream Anchor Terminal Section (DAT)	10.00	EA	1,500.00	15,000.00	1,829.00	18,290.00	2,100.00	21,000.00
17	GF Type 1 Guardrail Mounted Delineator	1,000.00	EA	8.00	8,000.00	13.00	13,000.00	30.00	30,000.00
18	Metal Beam Guard Fence (Long Span) GF 31"	10.00	EA	1,650.00	16,500.00	1,874.00	18,740.00	1,850.00	18,500.00
19	Metal Beam Guard Fence Radius	200.00	LF	48.00	9,600.00	103.44	20,688.00	100.00	20,000.00
	Min. Dollar Amount Per Job/Project:		-			-		7,000.00	
	Est. Number of Days to Begin:		-			5		35.00	
	Discount, if any, for Materials Not Listed:		-			0.10%		-	
	Total				\$ 290,100.00		\$ 325,681.00		\$ 380,925.00

SCORE CARD

Grand Prairie TEXAS Dream Big Play Hard		Evaluation Score Card Guard Rails Installation & Removal RFB #22059		Vann Elli, Inc. Joshua, TX	JE Casey, LLC Grand Prairie, TX	Odum Services, LLC Marshall, TX
Evaluation Criteria	Maximum Score	Score	Score	Score	Score	Score
Price	50.00	50.00	50.00	44.54	38.08	
The extent to which the goods or services meet the municipality's needs	15.00	15.00	15.00	15.00	15.00	
The Reputation of the Bidder	10.00	10.00	10.00	8.00	9.00	
Past experience with the City of Grand Prairie or another municipality	10.00	10.00	10.00	3.33	3.33	
Qualifications	10.00	10.00	10.00	10.00	10.00	
Local Business Presence	5.00	0.00	0.00	5.00	0.00	
Total	100.00	95.00	95.00	85.87	75.41	



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: Glenda C Peterson, Sr Financial Analyst

PRESENTER: Dane Stovall, Public Works, Assistant Director

TITLE: Price agreement for Traffic Signals/Fiber Optic Ground Boxes with Techline, Inc., at an estimated annual cost of \$76,235. This agreement will be for one year with the option to renew for four additional one-year periods totaling \$381,175 if all extensions are exercised. Also authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal term(s)

RECOMMENDED ACTION: Approve

ANALYSIS:

The in-ground vaults (Ground Boxes) are part of the traffic signal and fiber optic network cabling conduit system. These ground boxes provide access to points for the Traffic Signal Division to maintain and/or repair the cables.

Notice of bid # 22055 was viewed by 16 vendors including one Grand Prairie vendor. There was only one bid received as shown on Attachment A. Based on the submittals Techline, Inc. is the apparent low bid.

The low bid received from Techline, Inc. meets specifications and is recommended for award.

FINANCIAL CONSIDERATION:

Funding for the price agreement with Techline, Inc. is available in the FY 2021/2022 General Operating Fund (251310), Traffic Signal Maintenance (63125) and will be charged accordingly on orders through the end of the fiscal year. Funding for future years will be paid from that year's approved budgets.

**CITY OF GRAND PRAIRIE
OPERATING BUDGET EXPENDITURE INFORMATION**

FUND: General Operating Fund

AGENCY: Public Works / Street Services

ACCOUNTING UNIT: 251310 – Traffic Signals

AVAILABLE: 63125 – Traffic Signal Maintenance @ \$135,050

STAFF CONTACT: Leland Miller – Street Service Manager

VENDOR NUMBER: 12272


VENDOR NAME: Techline, Inc.

CONTINGENCY: None


GROUND BOXES

RFB #22055

TABULATION

		Bid Tabulation		Techline, Inc. New Braunfels, TX	
		Ground Boxes			
		RFB #22055			
Item	Description	QTY	UOM	Unit Price	Extended Price
1	Standard Ground Box with Lid	10	EA	1,158.00	11,580.00
2	Traffic Signal Cabinet Base	5	EA	714.00	3,570.00
3	Communication Ground Box with Lid	5	EA	3,429.00	17,145.00
4	Type A Ground Box with Lid	20	EA	256.00	5,120.00
5	Type C Ground Box with Lid	20	EA	289.00	5,780.00
6	Type D Ground Box with Lid	10	EA	343.00	3,430.00
7	Type E Ground Box with Lid	10	EA	286.00	2,860.00
8	Polymer Concrete Vault Assembly	10	EA	2,174.00	21,740.00
9	Electric Ground Box with Lid	10	EA	249.00	2,490.00
10	Type A & E Lids	10	EA	112.00	1,120.00
11	Type C & D Lids	10	EA	140.00	1,400.00
12	Percentage Discount for Items Not Specified	1	EA	15%	
Total					\$ 76,235.00

SCORECARD

		Evaluation Score Card		Techline, Inc. New Braunfels, TX	
		Ground Boxes			
		RFB #22055			
Evaluation Criteria	Maximum Score	Score			
Price	50.00	50.00			
The extent to which the goods or services meet the municipality's needs	15.00	15.00			
The Reputation of the Bidder	10.00	10.00			
Past experience with the City of Grand Prairie or another municipality	10.00	10.00			
Qualifications	10.00	10.00			
Local Business Presence	5.00	0.00			
Total	100.00	95.00			



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Glenda Peterson, Sr Financial Analyst

PRESENTER: Dane Stovall, Assistant Director, Public Works

TITLE: Price agreement renewal #1 for Concrete Paving with Santos Construction, Inc. in an annual amount not to exceed \$11,835,345.20, with a secondary, New Star Grading & Paving, Inc., not to exceed an amount of \$16,010,955.30, and a tertiary, McMahon Contracting, L.P., not to exceed \$12,295,231.42, if all extensions are exercised. Also authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal term(s)

RECOMMENDED ACTION: Approve

ANALYSIS:

On March 16, 2021 Council awarded an annual price agreement for Concrete Paving to Santos Construction Inc. for an annual amount of \$11,835,345.20, with a secondary with New Star Grading & Paving, Inc. for an annual amount of \$16,010,955.30, and a tertiary with McMahon Contracting, L.P., for an annual amount of \$12,295,231.42.

The above referenced agreement provides that Vendor may request a price increase through a price redetermination request, substantiated in writing, to become effective on the anniversary date of the contract to cover verifiable increases in cost to the applicable industry.

The estimated annual amount to be paid to Santos Construction, Inc. shall be increased by the sum of \$1,047,490 (7.77% increase), with the secondary, New Star Grading & Paving, Inc. an increase by the sum of \$1,525,000 (8.42% increase) and to the tertiary with McMahon Contracting, L.P., an increase not to exceed \$1,047,490 (6.16% increase).

State statutes require City Council approval of a change order when the cumulative cost of the change order exceed \$50,000. With approval of this change order, the City Manager will be able to approve the change order to a cumulative value of \$50,000 without additional Council approval. The City, as an owner, reserves the right to increase the amount of the work to be performed in a given contract by an amount not to exceed twenty-five (25%) percent of the original bid.

FINANCIAL CONSIDERATION:

Funds are available in the Streets, Roads, Highway Maintenance ¼ cent Sales Tax Funds (232010), FY22 Street Maintenance Projects (02210503), Street Maintenance (63030), as well as the Capital Improvements Project Fund (400192), FY22 Street Assessment Implementation (02206703), Street Maintenance (63030). Projects by other departments that utilize this price agreement will be funded through those departments. All work will be charged accordingly on orders through the end of the fiscal year. Funding for future fiscal years will be paid from that year's approved budgets.

Annual Agreement Change Order Worksheet

RFB# 21045 Santos Construction, Inc.- Price Agreement							
<u>Possible Contract Years:</u>		5	<u>Procurement Source:</u>		City RFB/RFP		
<u>Original Annual Contract Value:</u>		\$ 10,787,855.20	Original Total Contract Value: \$ 53,939,276.00				
25% Maximum Increase:		\$ 2,696,963.80	Max Possible Contract Value: \$ 67,424,095.00				
Max Possible Annual Contract Value		\$ 13,484,819.00	Proposed Total Contract Value: \$ 58,129,236.00				
<u>Dollar Value on each Contract Term</u>							<u>CUMULATIVE CHANGE IN AMOUNT:</u>
Date	Contract Action	Initial Term	Renewal 1	Renewal 2	Renewal 3	Renewal 4	CUMULATIVE CHANGE IN AMOUNT:
	<i>Renewal #1</i> description of change	\$ -	\$ 1,047,490.00	\$1,047,490.00	\$1,047,490.00	\$1,047,490.00	<i>Renewal #1</i> \$ 4,189,960.00
	<i>Renewal #2</i>	\$ -	\$ -				<i>Renewal #2</i> \$ -
	Percentage Change	0.00%	9.71%	9.71%	9.71%	9.71%	7.77%
	Total of Changes	\$ -	\$ 1,047,490.00	\$1,047,490.00	\$1,047,490.00	\$1,047,490.00	\$ 4,189,960.00
	Annual Contract Value	\$ 10,787,855.20	\$ 11,835,345.20	\$11,835,345.20	\$ 11,835,345.20	\$11,835,345.20	\$ 58,129,236.00
	CURRENT TERM indicate with a "X"						Requires City Council Approval

CONCRETE PAVING
BID SHEET ~ RFB #21045

Vendor: Santos Construcion Inc.
 Contact: Ignacio Santos
 Email: ycasas@santosci.com
 Phone: 972-296-5813
 City/State: Dallas, TX

	DESCRIPTION	QTY	UOM	2/23/2021	Unit	total	\$ Inc Over 2022	% Inc Over 2022	
1	Remove 6" to 10" thick reinforced concrete 0-50 s.y.	660	SY	16	\$10,560.00	17.5	11550	990.00	9.375%
2	Remove 6" to 10" thick reinforced concrete 51-500 s.y.	1200	SY	16	\$19,200.00	17.5	21000	1,800.00	9.375%
3	Remove 6" to 10" thick reinforced concrete 501-1,000 s.y.	1600	SY	16	\$25,600.00	17.5	28000	2,400.00	9.375%
4	Remove 6" to 10" thick reinforced concrete 1,001+ s.y.	32000	SY	16	\$512,000.00	17.5	560000	48,000.00	9.375%
5	Remove 4" to 5" concrete sidewalk 0-250 s.y.	800	SY	10	\$8,000.00	11	8800	800.00	10.000%
6	Remove 4" to 5" concrete sidewalk 251-800 s.y.	800	SY	10	\$8,000.00	11	8800	800.00	10.000%
7	Remove 4" to 5" concrete sidewalk 801-1,200 s.y.	1200	SY	10	\$12,000.00	11	13200	1,200.00	10.000%
8	Remove 4" to 5" concrete sidewalk 1,201+ s.y.	4000	SY	10	\$40,000.00	11	44000	4,000.00	10.000%
9	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 0-250 s.y	1100	SY	56	\$61,600.00	63	69300	7,700.00	12.500%
10	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 251-800 s.y.	1100	SY	56	\$61,600.00	63	69300	7,700.00	12.500%
11	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 801-1,200 s.y.	1600	SY	56	\$89,600.00	63	100800	11,200.00	12.500%
12	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 1,201+ s.y.	6000	SY	56	\$336,000.00	63	378000	42,000.00	12.500%
13	8" concrete for pavement 6.5 sack (4500 p.s.i.) 0-500 s.y.	800	SY	65	\$52,000.00	74	59200	7,200.00	13.846%
14	8" concrete for pavement 6.5 sack (4500 p.s.i.) 501-1,000 s.y.	1600	SY	65	\$104,000.00	74	118400	14,400.00	13.846%
15	8" concrete for pavement 6.5 sack (4500 p.s.i.) 1,001+ s.y.	32000	SY	65	\$2,080,000.00	74	2368000	288,000.00	13.846%
16	10" concrete for pavement 6.5 sack (4500 p.s.i.) 0-500 s.y.	600	SY	65	\$39,000.00	74	44400	5,400.00	13.846%
17	10" concrete for pavement 6.5 sack (4500 p.s.i.) 501-1,000 s.y.	1600	SY	65	\$104,000.00	74	118400	14,400.00	13.846%
18	10" concrete for pavement 6.5 sack (4500 p.s.i.) 1,001+ s.y.	4000	SY	65	\$260,000.00	74	296000	36,000.00	13.846%
19	Quick Set type Concrete (owner approved mix design) (4500 p.s.i.) 24	500	CY	65	\$32,500.00	74	37000	4,500.00	13.846%
20	Quick Set type Concrete (owner approved mix design) (4500 p.s.i.) 24	800	CY	65	\$52,000.00	74	59200	7,200.00	13.846%
21	Quick Set type Concrete (owner approved mix design) (4500 p.s.i.) 24	1200	CY	65	\$78,000.00	74	88800	10,800.00	13.846%
22	8" Alley Pavement as per Standard Detail Sheet 6.5 sack (4500 p.s.i.)	700	SY	66.5	\$46,550.00	75.5	52850	6,300.00	13.534%
23	8" Alley Pavement as per Standard Detail Sheet 6.5 sack (4500 p.s.i.)	1600	SY	66.5	\$106,400.00	75.5	120800	14,400.00	13.534%
24	8" Alley Pavement as per Standard Detail Sheet 6.5 sack (4500 p.s.i.)	6000	SY	66.5	\$399,000.00	75.5	453000	54,000.00	13.534%
25	Type "D" HMAC compacted in-place for temp. and permanent tie-in	1200	TN	130	\$156,000.00	139	166800	10,800.00	6.923%
26	Cold mix asphalt mix complete in-place for tie-in of pavements	1000	TN	45	\$45,000.00	45	45000	0.00	0.000%
27	Barrier free ramps at intersections to include all removal and sawing	160	EA	1200	\$192,000.00	1300	208000	16,000.00	8.333%
28	Double connect barrier free ramps at intersections to include all rem	160	EA	1200	\$192,000.00	1300	208000	16,000.00	8.333%
29	Replace water meter box and lid as per City Standard Detail Sheets. C	250	EA	15	\$3,750.00	15	3750	0.00	0.000%
30	Install water meter riser as per City Standard Detail Sheets, City will p	250	EA	15	\$3,750.00	15	3750	0.00	0.000%
31	6" Integral Curb	15000	LF	5	\$75,000.00	5.5	82500	7,500.00	10.000%
32	8" Integral Curb	2200	LF	6	\$13,200.00	6.25	13750	550.00	4.167%
33	6" concrete drive approach up to connecting sidewalk or R.O.W. 6.5	3000	SY	68	\$204,000.00	77	231000	27,000.00	13.235%

34	30" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 0-100 l.f.	500	LF	36	\$18,000.00	41	20500	2,500.00	13.889%
35	30" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 101 + l.f.	10000	LF	36	\$360,000.00	41	410000	50,000.00	13.889%
36	24" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 0-100 l.f.	500	LF	34	\$17,000.00	38.5	19250	2,250.00	13.235%
37	24" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 101 + l.f.	10000	LF	34	\$340,000.00	38.5	385000	45,000.00	13.235%
38	18" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 0-100 l.f.	100	LF	12	\$1,200.00	12	1200	0.00	0.000%
39	18" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 101-300 l.f.	200	LF	12	\$2,400.00	12	2400	0.00	0.000%
40	18" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 301 + l.f.	10000	LF	12	\$120,000.00	12	120000	0.00	0.000%
41	Mow strip 12" x 12" #3 Rebar Ladder Shape @ 24" spacing 6.5 sack (4500 p.s.i.) 0-100 l.f.	400	LF	3	\$1,200.00	3	1200	0.00	0.000%
42	3" High Reinforced Concrete Berm as per Specifications, 8" inches wide	500	LF	3	\$1,500.00	3	1500	0.00	0.000%
43	3" High Reinforced Concrete Berm as per Specifications, 16" inches wide	200	LF	3	\$600.00	3	600	0.00	0.000%
44	4" High Reinforced Concrete Berm as per Specifications, 8" inches wide	500	LF	3	\$1,500.00	3	1500	0.00	0.000%
45	4" High Reinforced Concrete Berm as per Specifications, 16" inches wide	200	LF	3	\$600.00	3	600	0.00	0.000%
46	SDHPT (grade 2), Type A Flex Base - provided, placed and compacted	20000	Ton	35	\$700,000.00	38.5	770000	70,000.00	10.000%
47	5" - 6" depth stamped patterned median (3000 p.s.i.) pavement. 0-5	1500	SY	90	\$135,000.00	98	147000	12,000.00	8.889%
48	Retaining wall (0-3') with 6' Integral sidewalk 6.5 sack (4500 p.s.i.) 0-5	5000	LF	68	\$340,000.00	76	380000	40,000.00	11.765%
49	Retaining wall (0-3') with 4' Integral sidewalk 6.5 sack (4500 p.s.i.) 0-5	5000	LF	68	\$340,000.00	76	380000	40,000.00	11.765%
50	Remove HMA	10000	SY	11	\$110,000.00	12	120000	10,000.00	9.091%
51	Saw cut full depth concrete	30000	LF	2	\$60,000.00	2	60000	0.00	0.000%
52	Saw cut full depth concrete sidewalk	2000	LF	2	\$4,000.00	2	4000	0.00	0.000%
53	Saw cut asphalt full depth	15000	LF	2	\$30,000.00	2	30000	0.00	0.000%
54	Rout and Seal Random Cracks to include cleaning, complete in-place	10000	LF	0.5	\$5,000.00	0.5	5000	0.00	0.000%
55	Sodding on all sides of construction, disturbed areas - Tiff 419 Bermuda	10000	SY	8	\$80,000.00	9	90000	10,000.00	12.500%
56	Sodding on all sides of construction, disturbed areas - Raleigh St. Augusta	10000	SY	8	\$80,000.00	9	90000	10,000.00	12.500%
57	Unclassified Excavation 0-100 c.y.	1000	CY	25	\$25,000.00	28	28000	3,000.00	12.000%
58	Unclassified Excavation 101-300 c.y.	600	CY	25	\$15,000.00	28	16800	1,800.00	12.000%
59	Unclassified Excavation 301+ c.y.	20,000	CY	25	\$500,000.00	28	560000	60,000.00	12.000%
60	Excavation/Removal of curb and gutter only 0-100 l.f.	200	LF	8	\$1,600.00	9	1800	200.00	12.500%
61	Excavation/Removal of curb and gutter only 100-500 l.f.	200	LF	8	\$1,600.00	9	1800	200.00	12.500%
62	Excavation/Removal of curb and gutter only 501+ l.f.	15000	LF	8	\$120,000.00	9	135000	15,000.00	12.500%
63	Traffic Control on Major Thoroughfares,- (to be determined by owner)	20	EA	250	\$5,000.00	250	5000	0.00	0.000%
64	Silt Fence - furnish and install complete in place	500	LF	2	\$1,000.00	2	1000	0.00	0.000%
65	Inlet Protection, furnish and install complete in place as per detail sheet	20	EA	50	\$1,000.00	50	1000	0.00	0.000%
66	Construction (Stone) Entrance, complete in place, as per details and drawings	10	EA	100	\$1,000.00	100	1000	0.00	0.000%
67	Unclassified Channel/Swale Grading and Compaction (95% Standard)	1000	CY	12	\$12,000.00	12	12000	0.00	0.000%
68	Select Fill Material for Channel/Swale Grading and Compaction pay for	1000	CY	15	\$15,000.00	15	15000	0.00	0.000%
69	Topsoil for Finished Grading, furnish and place including fine grading	1000	CY	32	\$32,000.00	34	34000	2,000.00	6.250%
70	Cleaning Culverts (18"-12"- 33" Pipe or 2.5' Height Box) remove debris	1000	CY	3	\$3,000.00	3	3000	0.00	0.000%
71	Cleaning Culverts (36"+ Pipe or 2.5'+ Height Box) remove debris, earth	1000	CY	3	\$3,000.00	3	3000	0.00	0.000%
72	Additional Clearing and Grubbing Along Channels, Headwalls, and Inlets	1000	CY	3	\$3,000.00	3	3000	0.00	0.000%
73	Structural Reinforced Concrete, flumes, retaining walls, Wing walls at	1500	CY	320	\$480,000.00	320	480000	0.00	0.000%

74	Non & Reinforced Concrete (2,000 p.s.l.) thrust blocking, pipe collars	500	CY	20	\$10,000.00	20	10000	0.00	0.000%
75	12" Grouted Rock Riprap over Filter Fabric, furnish and install complete	500	CY	50	\$25,000.00	50	25000	0.00	0.000%
76	24" Grouted Riprap over Filter Fabric, furnish and install complete in	1000	CY	65	\$65,000.00	65	65000	0.00	0.000%
77	Sheeting Shoring and Bracing, Site Specific Trench Safety Plan submit	10	EA	50	\$500.00	50	500	0.00	0.000%
78	Implement Trench Safety Plan 0-6.1 foot depth to flowline of pipe, fu	200	LF	1.5	\$300.00	1.5	300	0.00	0.000%
79	Implement Trench Safety Plan 6.1-10 foot depth to flowline of pipe, f	200	LF	1.5	\$300.00	1.5	300	0.00	0.000%
80	Implement Trench Safety Plan 10.1-15 foot depth to flowline of pipe,	200	LF	1.5	\$300.00	1.5	300	0.00	0.000%
81	Additional Compacted Native Backfill for Pipe and Box Culverts, use e	500	CY	10	\$5,000.00	10	5000	0.00	0.000%
82	Additional Modified flowable backfill - per tickets turned in daily, to	500	CY	38	\$19,000.00	38	19000	0.00	0.000%
83	Additional Well Graded Crushed Stone (1/4" to 3/8") Backfill for embed	500	CY	10	\$5,000.00	10	5000	0.00	0.000%
84	Additional Well Graded Crushed Stone (1" to 3") Backfill for embedm	500	CY	10	\$5,000.00	10	5000	0.00	0.000%
85	Additional Sand Backfill for Pipe or Box Culverts, to be paid only if spi	500	CY	7	\$3,500.00	7	3500	0.00	0.000%
86	Additional Cement Treated Sand Backfill for Box Culverts, as per deta	500	CY	15	\$7,500.00	15	7500	0.00	0.000%
87	Reinforced Concrete Box Culvert, including formwork, cutting joints,	500	CY	200	\$100,000.00	200	100000	0.00	0.000%
88	48" CL III RCP storm drain pipe, open cut furnish and install complete	50	LF	95	\$4,750.00	95	4750	0.00	0.000%
89	48" CL III RCP storm drain pipe, open cut, furnish and install complete	75	LF	95	\$7,125.00	95	7125	0.00	0.000%
90	48" RCP storm drain pipe connection, furnish and install complete in	10	EA	200	\$2,000.00	200	2000	0.00	0.000%
91	36" CL III RCP storm drain pipe, open cut furnish and install complete	75	LF	94	\$7,050.00	94	7050	0.00	0.000%
92	36" CL III RCP storm drain pipe, open cut, furnish and install complete	100	LF	94	\$9,400.00	94	9400	0.00	0.000%
93	36" RCP storm drain pipe connection, furnish and install complete in	10	EA	200	\$2,000.00	200	2000	0.00	0.000%
94	30" CL III RCP storm drain pipe, open cut furnish and install complete	300	LF	93	\$27,900.00	93	27900	0.00	0.000%
95	30" CL III RCP storm drain pipe, open cut, furnish and install complete	300	LF	93	\$27,900.00	93	27900	0.00	0.000%
96	30" RCP storm drain pipe connection, furnish and install complete in	10	Each	200	\$2,000.00	200	2000	0.00	0.000%
97	24" CL III RCP storm drain pipe, open cut furnish and install complete	300	LF	87	\$26,100.00	87	26100	0.00	0.000%
98	24" CL III RCP storm drain pipe, open cut, furnish and install complete	1000	LF	87	\$87,000.00	87	87000	0.00	0.000%
99	24" RCP storm drain pipe connection, furnish and install complete in	20	Each	100	\$2,000.00	100	2000	0.00	0.000%
100	18" CL III RCP storm drain pipe, open cut furnish and install complete	300	LF	75	\$22,500.00	75	22500	0.00	0.000%
101	18" CL III RCP storm drain pipe, open cut, furnish and install complete	300	LF	75	\$22,500.00	75	22500	0.00	0.000%
102	18" RCP storm drain pipe connection, furnish and install complete in	10	Each	100	\$1,000.00	100	1000	0.00	0.000%
103	Recessed Curb Inlet (5'), remove old inlet/furnish and install complet	30	Each	2600	\$78,000.00	2600	78000	0.00	0.000%
104	Recessed Curb Inlet (10'), remove old inlet/furnish and install complet	30	Each	3500	\$105,000.00	3500	105000	0.00	0.000%
105	Modified Combination Recessed Curb & Grate Inlet (5'), remove old i	30	Each	3300	\$99,000.00	3300	100500	1,500.00	1.515%
106	Modified Combination Recessed Curb & Grate Inlet (10'), remove old	30	Each	3850	\$115,500.00	3850	115500	0.00	0.000%
107	Standard Depressed Curb (5'), remove old inlet/furnish and install co	30	Each	2400	\$72,000.00	2400	73500	1,500.00	2.083%
108	Standard Depressed Curb (10'), remove old inlet/furnish and install c	30	Each	3400	\$102,000.00	3400	103500	1,500.00	1.471%
109	Increase Proposed Inlet Length by 5 Linear Feet (Recessed Curb Inlet	30	Each	200	\$6,000.00	200	6000	0.00	0.000%
110	Increase Proposed Inlet Length by 5 Linear Feet (Modified Combinati	30	Each	200	\$6,000.00	200	6000	0.00	0.000%
111	Increase Proposed Inlet Length by 5 Linear Feet (Standard Depressed	30	Each	200	\$6,000.00	200	6000	0.00	0.000%
112	5' Inlet Extra Depth of Recessed/Standard Inlet per 1' foot	10	LF	100	\$1,000.00	100	1000	0.00	0.000%
113	10' Inlet Extra Depth of Recessed/Standard Inlet per 1' foot	10	LF	150	\$1,500.00	150	1500	0.00	0.000%

114	Remove and replace 5" Inlet top. As approved by Inspector.	30	Each	1600	\$48,000.00	1600	48000	0.00	0.000%
115	Remove and replace 10" Inlet top. As approved by Inspector.	30	Each	2100	\$63,000.00	2100	63000	0.00	0.000%
116	5' x 5' Type "Y" (table top) Inlet, furnish and install complete in place,	30	Each	2100	\$63,000.00	2100	63000	0.00	0.000%
117	4' x 4' Type "Y" (table top) Inlet, furnish and install complete in place,	30	Each	2100	\$63,000.00	2100	63000	0.00	0.000%
118	Type "A, B or E" Storm Drain Manhole, furnish and install, complete in	300	CY	200	\$60,000.00	200	60000	0.00	0.000%
119	Stacked Manhole Extension, as per details, 48" dia., Ring and Cover, f	50	VF	40	\$2,000.00	40	2000	0.00	0.000%
120	Adjust Water Mains, Wastewater Mains, Manholes, or other utility c	1%	%	30	\$0.30	30	0.3	0.00	0.000%
121	Utility Pole Bracing, coordinating with Franchise Utility Company, bra	25	Each	10	\$250.00	10	250	0.00	0.000%
122	Type A, B, or E, Storm Drain Manhole, furnish and install complete in	200	LF	10	\$2,000.00	10	2000	0.00	0.000%
123	Type A, B, or E, Storm Drain Manhole, furnish and install complete in	200	LF	10	\$2,000.00	10	2000	0.00	0.000%
124	Type A, B, or E, Storm Drain Manhole, furnish and install complete in	200	LF	10	\$2,000.00	10	2000	0.00	0.000%
125	Type A, B, or E, Storm Drain Manhole, furnish and install complete in	200	LF	10	\$2,000.00	10	2000	0.00	0.000%
126	Rock Filler Dam Type 1	100	LF	5	\$500.00	5	500	0.00	0.000%
127	Rock Filler Dam Type 2	100	LF	5	\$500.00	5	500	0.00	0.000%
128	Rock Filler Dam Type 3	100	LF	5	\$500.00	5	500	0.00	0.000%
					\$10,787,885.30		\$11,835,375.30		9.71%
	TOTAL								



REDI MIX CONCRETE

PO Box 162327
Fort Worth, TX 76161

CERTIFIED WBE COMPANY

Feb, 2022

To: Santos Construction Inc
Attn:Yesenia Santos Casas
Phone: 972.296.5813

Plant Locations : McKinney ,Dallas , Mid Cities ,and Fort Worth .

RE: Pricing for April 1st 2022, good until Sept 2022 we will try and work with you and keep you updated until the high demand and unforeseen price increases level off.

- ◆ 5 sack 3000 psi ash = \$119.00/cuyd
- ◆ 5.5 sack 3500 psi ash = \$126.00/cuyd
- ◆ 6 sack 4000 psi ash = \$129.50/cuyd
- ◆ 6.5 sack 4500 psi ash = \$ 133.00/cuyd
- ◆ Straight Cement mixes add \$3.00 /cuyd

- ◆ Truck fees \$35.00 per truck
- ◆ Sack adjustment \$7.00 per yard

- ◆ Add Mixtures etc are noted below if needed.
- ◆ Please add tax if needed
- ◆ Short Load Fees under 6 yards or excessive tagging \$150.00 per truck
- ◆ Wash out fees if needed \$75.00 per Truck if needed

Pricing is firm until Sept 1st 2022, at which time \$5.00 per yard will be added and every 6 months until job is completed .

Added Value Products:

- > Ice for cooling Up To \$30.00/cu yd. Based On Temp Needed
- > Accelerator (non chloride) \$1400/cu yd.
- > Fiber mesh 3/4 mono \$7.00/cuyd
- > Heating if available \$12.00/cu yd
- > HRWR Up To \$12.00/cuyd

The above pricing is based on the following:

- The sale of all items quoted in project quantity.
- Deliver on Saturday is dependent upon available driver hours and start time of no later than 7:00 am.

After your review, if there are any questions or additional information needed, please feel free to call me at any time. You can also find us at www.cowtownredimix.com.

Sincerely,
Max Ulrich
817-454-2371

Please sign within 15 Days to hold pricing _____.

Annual Agreement Change Order Worksheet

RFB# 21045 - New Star Grading & Paving Price Agreement							
<u>Possible Contract Years:</u>		5	<u>Procurement Source:</u>		City RFB/RFP		
<u>Original Annual Contract Value:</u>		\$ 14,485,955.30	Original Total Contract Value:		\$ 72,429,776.50		
25% Maximum Increase:		\$ 3,621,488.83	Max Possible Contract Value:		\$ 90,537,220.63		
Max Possible Annual Contract Value		\$ 18,107,444.13	Proposed Total Contract Value:		\$ 78,529,776.50		
<u>Dollar Value on each Contract Term</u>							<u>CUMULATIVE CHANGE IN AMOUNT:</u>
Date	Contract Action	Initial Term	Renewal 1	Renewal 2	Renewal 3	Renewal 4	CUMULATIVE CHANGE IN AMOUNT:
	<i>Renewal #1</i> description of change	\$ -	\$ 1,525,000.00	\$1,525,000.00	\$1,525,000.00	\$1,525,000.00	<i>Renewal #1</i> \$ 6,100,000.00
	<i>Renewal #2</i>	\$ -	\$ -				<i>Renewal #2</i> \$ -
	Percentage Change	0.00%	10.53%	10.53%	10.53%	10.53%	8.42%
	Total of Changes	\$ -	\$ 1,525,000.00	\$1,525,000.00	\$1,525,000.00	\$1,525,000.00	\$ 6,100,000.00
	Annual Contract Value	\$ 14,485,955.30	\$ 16,010,955.30	\$16,010,955.30	\$ 16,010,955.30	\$16,010,955.30	\$ 78,529,776.50
	CURRENT TERM indicate with a "X"						Requires City Council Approval

New Star Grading & Paving Co

4503 W Red Bird Ln

Dallas Tx 75236

214-398-8557- office

214-398-9210- fax

newstargrading@yahoo.com

Good afternoon, we are in need of increasing our prices, due to material, fuel and labor cost increase. In the attachment you will find previous and recent prices of materials. If any additional information is needed please let us know.

Thank you

**PROPOSED PROJECT
ACCEPTANCE/REJECTION FORM (RFB 21045)**

Item 15.

Project Name: _____

Work Order # _____

Listed below are the estimated quantities that we propose for this project

NEWSTAR GRADING & PAVING CONCRETE PAVEMENT REPAIRS 2021

Item #	Line Item Description	UOM	Est. Quantity	old unit Price	New Price 2022	Est Cost
1	Remove 6" to 8" thick reinforced concrete 0-50 SY	SY		24.25	28.25	0.00
2	Remove 6" to 8" thick reinforced concrete 51-500 SY	SY		24.25	28.25	0.00
3	Remove 6" to 8" thick reinforced concrete 501-1,000 SY	SY		19.00	22.85	0.00
4	Remove 6" to 8" thick reinforced concrete 1,001+ SY	SY		19.00	22.85	0.00
5	Remove 4" to 5" concrete sidewalk 0-250 SY	SY		25.00	28.75	0.00
6	Remove 4" to 5" concrete sidewalk 251-800SY.	SY		19.00	22.00	0.00
7	Remove 4" to 5" concrete sidewalk 801-1,200 SY	SY		19.00	22.00	0.00
8	Remove 4" to 5" concrete sidewalk 1,201+ SY	SY		19.00	22.00	0.00
9	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 0-250 SY	SY		60.00	69.00	0.00
10	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 251-800 SY	SY		59.00	67.85	0.00
11	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 101-1,200 SY	SY		59.00	67.85	0.00
12	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 1,201+ SY	SY		59.00	67.85	0.00
13	8" concrete for pavement 6.5 sack (4500 p.s.i.) 0-500 SY	SY		64.00	73.50	0.00
14	8" concrete for pavement 6.5 sack (4500 p.s.i.) 501-1,000 SY	SY		64.00	73.50	0.00
15	8" concrete for pavement 6.5 sack (4500 p.s.i.) 1,001+ SY	SY		60.00	69.00	0.00
16	10" concrete for pavement 6.5 sack (4500 p.s.i.) 0-500 SY	SY		64.00	73.00	0.00
17	10" concrete for pavement 6.5 sack (4500 p.s.i.) 501-1,000 SY	SY		62.00	71.30	0.00
18	10" concrete for pavement 6.5 sack (4500 p.s.i.) 1,001 + SY	SY		62.00	71.30	0.00
19	Quick Set type Concrete (owner approved mix design) (4500 PSI) 24hrs 0-200 SY	CY		65.00	74.75	0.00
20	Quick Set type Concrete (owner approved mix design) (4500 PSI) 24hrs 201-800 SY	CY		65.00	74.75	0.00
21	Quick Set type Concrete (owner approved mix design) (4500 PSI) 24hrs 801 + SY	CY		65.00	74.75	0.00
22	8" Alley Pavement as per Standard Detail Sheet 6.5 sack (4500 PSI) concrete 0-500 SY	SY		64.00	73.60	0.00
23	8" Alley Pavement as per Standard Detail Sheet 6.5 sack (4500 PSI) concrete 501-1,000 SY	SY		64.00	73.60	0.00
24	8" Alley Pavement as per Standard Detail Sheet 6.5 sack (4500 PSI) concrete 1,001 + SY	SY		60.00	69.00	0.00
25	Type "D" HMA compacted in-place for temp. and permanent tie-ins of concrete pavement to asphalt to be paid by tickets	TON		160.00	184.00	0.00
26	Cold mix asphalt mix complete in-place for tie-in of pavements	TON		160.00	184.00	0.00
27	Barrier free ramps at intersections to include all removal ans sawing with out 24" blackout 6.5 sack (4500 PSI) concrete per the City's Standard Detail Sheets	EA		1,800.00	2,100.00	0.00
28	Double connect barrier free ramps at intersections to include all removal an sawing with out 24" blackout 6.5 sack (4500 PSI) concrete per the City's Standard Detail Sheets	EA		1,800.00	2,100.00	0.00
29	Replace water meter box and lid as per City Standard Detail Sheets. City will supply the boxes and lids.	EA		500.00	300.00	0.00
30	Install water meter riser as per City Standard Detail Sheets, City will provide the water risers.	EA		600.00		0.00
31	6" Integral Curb	LF		7.00	8.00	0.00
32	8" Integral Curb	LF		7.00	8.00	0.00
33	6" concrete drive approach up to connecting sidewalk or R.O.W. 6.5 sack (4500 PSI)	SY		64.00	73.50	0.00
34	30" curb and gutter to include 6" curb 6.5 sack (4500 PSI) 0-50 LF	LF		34.00	39.00	0.00
35	30" curb and gutter to include 6" curb 6.5 sack (4500 PSI) 51 + LF	LF		34.00	39.00	0.00
36	24" curb and gutter to include 6" curb 6.5 sack (4500 PSI) 0-50 LF	LF		32.00	37.00	0.00
37	24" curb and gutter to include 6" curb 6.5 sack (4500 PSI) 51 + LF	LF		32.00	37.00	0.00
38	18" curb and gutter to include 6" curb 6.5 sack (4500 PSI) 0-50 LF	LF		30.00	34.50	0.00
39	18" curb and gutter to include 6" curb 6.5 sack (4500 PSI) 51-100 LF	LF		30.00	34.50	0.00
40	18" curb and gutter to include 6" curb 6.5 sack (4500 PSI) 101 + LF	LF		30.00	34.50	0.00
ESTIMATED TOTAL						0.00

Line Item Description	UOM	Quantity	Unit Price	Est Cost	
41 Mow strip 12" x 12" #3 Rebar Ladder Shape @ 24" spacing 6.5 sack (4500 PSI)	LF		25.00	0.00	
42 3" High Reinforced Concrete Berm as per Specifications Item # 10-28.8, 8" inches wide	LF		10.00	0.00	
43 3" High Reinforced Concrete Berm as per Specifications Item # 10-28.8, 16" inches wide	LF		10.00	0.00	
44 4" High Reinforced Concrete Berm as per Specifications Item # 10-28.8, 8" inches wide	LF		10.00	0.00	
45 4" High Reinforced Concrete Berm as per Specifications Item # 10-28.8, 16" inches wide	LF		10.00	0.00	
46 SDHPT (grade 2), Type A Flex Base - provided, placed and compacted by contractor	TON		47.00	54.05	0.00
47 5"- 6" depth stamped patterned median (3000 PSI) pavement. 0-50 SY	SY		150.00	173.00	0.00
48 Retaining wall (0-3') with 6' integral sidewalk 6.5 sack (4500 PSI) 0-50+ LF	LF		75.00	86.25	0.00
49 Retaining wall (0-3') with 4' integral sidewalk 6.5 sack (4500 PSI) 0-50+ LF	LF		70.00	80.50	0.00
50 Remove HMA and necessary sub-basc	SY		22.00	25.30	0.00
51 Saw cut full depth concrete 6" to 10"	LF		4.00	4.60	0.00
52 Saw cut full depth concrete sidewalk 4 to 5"	LF		4.00	4.60	0.00

53	Saw cut asphalt full depth 2" to 6"	LF		3.00	3.45	0.00
54	Rout and Seal Random Cracks to include cleaning, complete in-place on both asphalt and concrete Type to be submitted for review and approval. (hot or cold pour meeting TXDOT	LF		0.50		0.00
55	Sodding 1' to 2' on all sides of construction - Tiff 419 Bermuda, water to establish growth	SY		8.00	9.45	0.00
56	Sodding 1' to 2' on all sides of construction - Raleigh St. Augustine, water to establish growth	SY		9.00	10.45	0.00
57	Unclassified Excavation 0-100 CY	CY		23.00	26.45	0.00
58	Unclassified Excavation 101-300 CY	CY		23.00	26.45	0.00
59	Unclassified Excavation 300+ CY	CY		23.00	26.45	0.00
60	Excavation/Removal of curb and gutter only 0-100 LF	LF		5.00	6.00	0.00
61	Excavation/Removal of curb and gutter only 100-500 LF	LF		5.00	6.00	0.00
62	Excavation/Removal of curb and gutter only 501+ LF	LF		5.00	6.00	0.00
63	Traffic Control on Major Thoroughfares, - (to be determined by owner) -This unit pay item will be used to offset cost for additional barricading when working on major thoroughfares. It will be one per work order project	EA		2,800.00	3,200.00	0.00
64	Silt Fence – furnish and install complete in place	LF		4.00		0.00
65	Inlet Protection, furnish and install complete in place as per detail sheets	EA		100.00		0.00
66	Construction (Stone) Entrance, complete in place, as per details and specifications	EA		800.00		0.00
67	Unclassified Channel/Swale Grading and Compaction (95% Standard Proctor Density at Optimum Moisture), clearing and grubbing, work fully performed, paid for by the calculated cubic yard of earth moved compared to existing contours vs. final contours. Earth hauled offsite will be a separate pay item (See Unclassified Excavation).	CY		30.00		0.00
68	Select Fill Material for Channel/Swale Grading and Compaction pay for Material and Hauling to Site, placing the material shall be billed under Unclassified Channel/Swale Grading and Compaction Bid Item. Paid by number of trucks	CY		30.00		0.00
69	Topsoil for Finished Grading, furnish and place including fine grading to drain. Paid by number of trucks	CY		48.00	57.60	0.00
70	Cleaning Culverts (18"-12"- 33" Pipe or 2.5' Height Box) remove debris, earth and other objectionable material from pipe and box culverts, and hauling material off site. Paid by number of truck loads	CY		30.00		0.00
71	Cleaning Culverts (36"+ Pipe or 2.5'+ Height Box) remove debris, earth and other objectionable material from pipe and box culverts, and hauling material off site. Paid by	CY		30.00		0.00
72	Additional Clearing and Grubbing Along Channels, Headwalls, and Inlets, as called for on the plans and hauling the material off site. Paid by number of truck loads	CY		30.00		0.00
73	Structural Reinforced Concrete, flumes, retaining walls, Wing walls and Headwalls to TxDot Standards, and other miscellaneous structural items, including formwork, cutting joints, testing, saw cutting existing pavement, pavement repair along interface of structure and saw cut line, doweling into existing concrete, excavation, backfill and other miscellaneous items of work, complete in place. Paid by volume of concrete calculated from Plans.	CY		70.00	84.00	0.00
74	Non & Reinforced Concrete (2,000 PSL) thrust blocking, pipe collars, pipe plugs, encasement for utility mains, including formwork, cutting joints, testing, excavation, backfill and other miscellaneous items of work, complete in place. Paid by volume of concrete calculated from	CY		240.00		0.00
75	12" Grouted Rock Riprap over Filter Fabric, furnish and install complete in place, 40% of rock exposed, excavation, as per details work fully performed. Paid by tickets	CY		260.00		0.00
76	24" Grouted Riprap over Filter Fabric, furnish and install complete in place, 40% of rock exposed, excavation, as per details work fully performed. Paid by tickets	CY		260.00		0.00
77	Sheeting Shoring and Bracing, Site Specific Trench Safety Plan submitted to owner, OSHA Standards that are in effect at the time of bid opening, payment per each general site location. Bid Price for Implementation of Plan shall be by separate bid item.	EA		80.00		0.00
ESTIMATED TOTAL						0.00

Item #	Line Item Description	UOM	Quantity	Unit Price		Est Cost
78	Implement Trench Safety Plan 0-6.1 foot depth to flowline of pipe, furnish and install complete in place, paid by linear foot	LF		2.50		0.00
79	Implement Trench Safety Plan 6.1-10 foot depth to flowline of pipe, furnish and install complete in place, paid by linear foot	LF		3.50		0.00
80	Implement Trench Safety Plan 10.1-15 foot depth to flowline of pipe, furnish and install complete in place, paid by linear foot	LF		5.50		0.00
81	Additional Compacted Native Backfill for Pipe and Box Culverts, use existing material, excavation, backfill, to be paid only for facilities with over 6 feet of cover. First 6 feet of cover over flowline of pipe is subsidiary to the pipe or box pay item. Paid by tickets	CY		16.00		0.00
82	Additional Modified flowable backfill – per tickets turned in daily, to be paid only if called for by the inspector Paid by ticket	CY		150.00	180.00	0.00
83	Additional Well Graded Crushed Stone (1/4" to 3/4") Backfill for embedment, to be paid only if specifically called for by the inspector. Paid by ticket	CY		16.00		0.00
84	Additional Well Graded Crushed Stone (1" to 3") Backfill for embedment, to be paid only if specifically called for by inspector. Paid by ticket	CY		26.00		0.00
85	Additional Sand Backfill for Pipe or Box Culverts, to be paid only if specifically called for by the inspector. Paid by ticket	CY		15.00		0.00
86	Additional Cement Treated Sand Backfill for Box Culverts, as per details work fully performed, to be paid only if specifically called for by the inspector. Paid by ticket	CY		65.00		0.00
87	Reinforced Concrete Box Culvert, including formwork, cutting joints, testing, embedment, excavation, backfill and other miscellaneous items of work, per TxDot Standards, complete in place. Paid by volume of concrete calculated from Plans. Contractor may use precast boxes.	CY		210.00		0.00
88	48" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 0	LF		250.00		0.00
89	48" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 26 linear LF	LF		250.00		0.00
90	48" RCP storm drain pipe connection, furnish and install complete in place.	EA		900.00		0.00
91	36" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 0	LF		180.00		0.00

92	36" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 26+ LF	LF		180.00		0.00
93	36" RCP storm drain pipe connection, furnish and install complete in place.	EA		900.00		0.00
94	30" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 0	LF		170.00		0.00
95	30" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 26+ LF	LF		170.00		0.00
96	30" RCP storm drain pipe connection, furnish and install complete in place.	EA		700.00		0.00
97	24" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 0	LF		160.00		0.00
98	24" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 26+ LF	LF		110.00		0.00
99	24" RCP storm drain pipe connection, furnish and install complete in place.	EA		700.00		0.00
100	18" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 0	LF		100.00		0.00
101	18" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe. use additional compacted backfill for pipe with more than 6' of cover. 26+ LF	LF		100.00		0.00
102	18" RCP storm drain pipe connection, furnish and install complete in place.	EA		600.00		0.00
103	Recessed Curb Inlet (5'), remove old inlet/furnish and install complete in place, pipe connections. excavation. backfill. as per specifications.	EA		6,000.00		0.00
104	Recessed Curb Inlet (10'), remove old inlet/furnish and install complete in place, pipe connections. excavation. backfill. as per specifications.	EA		9,000.00		0.00
105	Modified Combination Recessed Curb & Grate Inlet (5'), remove old inlet/furnish and install complete in place. pipe connections. excavation. backfill. as per specifications.	EA		6,000.00		0.00
106	Modified Combination Recessed Curb & Grate Inlet (10'), remove old inlet/furnish and install complete in place. pipe connections. excavation. backfill. as per specifications.	EA		9,000.00		0.00
107	Standard Depressed Curb (5'), remove old inlet/furnish and install complete in place, pipe connections. excavation. backfill. as per specifications.	EA		6,000.00		0.00

ESTIMATED TOTAL **0.00**

Item #	Line Item Description	UOM	Quantity	Unit Price		Est Cost
108	Standard Depressed Curb (10'), remove old inlet/furnish and install complete in place, pipe connections. excavation. backfill. as per specifications.	EA		9,000.00		0.00
109	Increase Proposed Inlet Length by 5 Linear Feet (Recessed Curb Inlet), contractor to bill for recessed curb inlet (5') and the increase for each additional 5 linear feet of inlet opening.	EA		6,000.00		0.00
110	Increase Proposed Inlet Length by 5 Linear Feet (Modified Combination Recessed Curb Inlet), contractor to bill for modified recessed curb inlet (5') and the increase for each additional 5 linear feet of inlet opening.	EA		6,000.00		0.00
111	Increase Proposed Inlet Length by 5 Linear Feet (Standard Depressed Curb Inlet), contractor to bill for standard depressed curb inlet (5') and the increase for each additional 5 linear feet of inlet opening.	EA		6,000.00		0.00
112	5' inlet Extra Depth of Recessed/Standard Inlet per 1' foot	LF		200.00		0.00
113	10' inlet Extra Depth of Recessed/Standard Inlet per 1' foot	LF		200.00		0.00
114	Remove and replace 5" inlet top. As approved by Inspector.	EA		2,000.00		0.00
115	Remove and replace 10" inlet top. As approved by Inspector.	EA		3,000.00		0.00
116	5' x 5' Type "Y" (table top) inlet, furnish and install complete in place, pipe connections, as per plans.	EA		6,000.00		0.00
117	4' x 4' Type "Y" (table top) inlet, furnish and install complete in place, pipe connections, as per plans.	EA		5,000.00		0.00
118	Type "A, B or E" Storm Drain Manhole Furnish and install complete in place, Ring and Cover, pipe connections. 0-15'	CY		300.00		0.00
119	Stacked Manhole Extension, as per details, 48" dia., Ring and Cover, collar around pipe, pipe connections. and work fully performed.	VF		200.00		0.00
120	Adjust Water Mains, Wastewater Mains, Manholes, or other utility conflicts with the storm drain pipe, furnish and install all materials complete in place, contractor to be paid cost of labor and materials & equipment (invoices submitted to owner) plus percentage over cost (contractor shall fill in percent markup for unit cost)	%		30.00		0.00
121	Utility Pole Bracing. coordinating with Franchise Utility Company. bracing pole or paying franchise utility company to brace pole. Bracing shall be to franchise utility standards.	EA		1,200.00		0.00
122	Type A, B, or E, Storm Drain Manhole, furnish and install complete in place, Ring and Cover, pipe connections, 6.1-8' depth to flowline maximum, as per specifications, use stacked manhole extension. see standard detail sheets.	LF		300.00		0.00
123	Type A, B, or E, Storm Drain Manhole, furnish and install complete in place, Ring and Cover, pipe connections, 8.1-10' depth to flowline maximum, as per specifications, use stacked manhole extension. see standard detail sheets.	LF		400.00		0.00
124	Type A, B, or E, Storm Drain Manhole, furnish and install complete in place, Ring and Cover, pipe connections, 10.1-12' depth to flowline maximum, as per specifications, use stacked manhole extension. see standard detail sheets.	LF		400.00		0.00
125	Type A, B, or E, Storm Drain Manhole, furnish and install complete in place, Ring and Cover, pipe connections, 12.1-14' depth to flowline maximum, as per specifications, use stacked manhole extension. see standard detail sheets.	LF		400.00		0.00
126	Rock Filler Dam Type 1	LF		24.00		0.00
127	Rock Filler Dam Type 2	LF		24.00		0.00
128	Rock Filler Dam Type 3	LF		24.00		0.00

ESTIMATED TOTAL **0.00**

ESTIMATED GRAND TOTAL **0.00**

N.S.

Item 15.

Big City Crushed Concrete, LLC
P.O. Box 29816
Dallas, TX 75229

INVOICE

Page: 1

Invoice Number: 51247448
Invoice Date: 12/15/2020

Bill To: NEW STAR GRADING & PAVING
4503 W RED BIRD LN
DALLAS, TX 75236

Ship To: NEW STAR GRADING & PAVING
4503 W RED BIRD LN
DALLAS, TX 75236

Due Date 1/14/2021 Customer ID C15099
Terms Net 30 Days

Customer PO Date No.	Ticket No.	Tons	Material	Unit Price	Amount	Tax	Total Price	Pay Typ	Payment Amount	Hauler
12/10/2020 F1947	LT0120175	10.73	FLEX	9.50	101.94		101.94	Acc		CUSTOMER

Total Tons 10.73
Subject to Sales Tax 0.00
Exempt from Sales Tax 101.94

Subtotal: 101.94
Invoice Discount: 0.00
Tax: 0.00
Total: 101.94
Amount Paid: 0.00
Amount Due: 101.94

WE SINCERELY APPRECIATE YOUR BUSINESS. IF THIS ACCOUNT SHOULD BECOME PAST DUE, ALL REASONABLE ATTORNEY'S FEES AND REASONABLE COSTS INCURRED IN THE COLLECTION OF THE DEBT WILL BE THE RESPONSIBILITY OF THE DEBTOR.

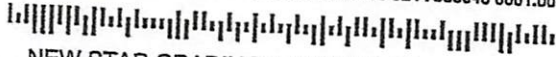
RAM TOOL

CONSTRUCTION SUPPLY CO.
4500 5th Avenue South, Building A
Birmingham, AL 35222



Bill To: 116111

1433 1 MB 0.439 E0076X I0101 D7027107019 S2 P7835543 0001:0002



NEW STAR GRADING & PAVING CO
4503 W RED BIRD LN
DALLAS TX 75236-2158

Invoice

DOCUMENT #	DOCUMENT DATE
9502098537	12/28/2020
ACCOUNT #	DUE DATE
116111	01/27/2021
PAYMENT TERMS	
Net due in 30 days	
PURCHASE ORDER #	
SW 3rd Street	
TOTAL AMOUNT IN USD	
3,881.47	

To view and pay your bills online go to:
<https://ramtool.billtrust.com>

Enrollment Token: BDF RLR RQQ

BRANCH LOCATION	SHIP TO: 5147399
TX01 - DALLAS 1432 MACARTHUR DRIVE CARROLLTON, TX 75007-4417	YARD 4503 W. REDBIRD LANE DALLAS, TX 75236

DELIVERY METHOD
Truck Delivery

PLEASE REMIT PAYMENT ONLY TO:
Ram Tool Construction Supply Co.
P O Box 743487
Atlanta, GA 30374-3487

ITEM	MATERIAL/DESCRIPTION	SALES ORDER/ LINE	QTY	UNIT PRICE	EXTENDED PRICE	TAX AMT
10	REB-4 DOMESTIC #4 1/2 IN X 20 FT DOMESTIC REBAR	6685431 / 10	450 EA	5.44371	2,449.67	202.10
20	REB-3 #3 3/8" X 20' REBAR GRADE 60	6685431 / 20	266 EA	2.87000	763.42	62.98
30	MIS-EZ7/1 1 GAL JOINT/CRACK SEAL	6685431 / 30	8 EA	19.27000	154.16	12.72
40	ARH-3 1/4 PV CHAIR 20LB BAG 3 1/4 PAVING CHAIR 500/BAG	6685431 / 40	4 BAG	54.60000	218.40	18.02

or general inquiries:
rcustomerrequest@ramtool.com
205) 599-7061/(800) 890-1988

For lien waivers:
lienwaiver@ramtool.com

Your AR account rep:
Debbie Gibson
debbie.gibson@ramtool.com
(540)581-1326

Subtotal	3,585.65
Subtotal Before Tax	3,585.65
Tax (8.25%)	295.82
Total Amount in \$	3,881.47

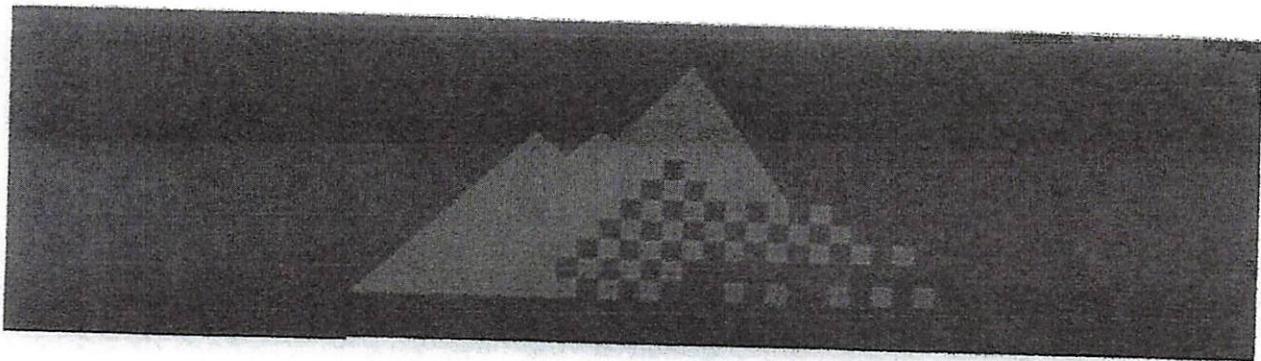
SAVE TIME AND MONEY WITH OUR NEW PORTAL!

Choose from two easy ways to receive your invoices: email, or our secure online site, eInvoice Connect. With email delivery, your invoices are sent once per day, and you will receive a copy of your paper bill. With eInvoice Connect, you can be notified by email when new invoices are posted and search, download, print, and pay your bills online!
Visit <http://ramtool.billtrust.com> to enroll.

New Prices

From: Bill

New Prices & Material Availability Update



Effective March 29th, 2021

Goodnight Plant (11143 Goodnight Lane, 75229)

Flex Base: \$10.00/Ton

1/2" Minus Crushed Asphalt: \$11.00/Ton

1" Minus Crushed Asphalt: \$9.00/Ton

3/8 Minus Crushed Concrete: \$11.00/Ton

Forest Plant (1005 Forest Avenue, 75215)

Flex Base: \$11.00/Ton

Arlington Plant (FM 157 & Blue Lake Blvd West, 76040)

Flex Base, \$10.00/Ton

Lewisville Plant (1580 Stonewall Drive, 75067)

Flex Base: \$10.00/Ton

1/2" Minus Crushed Asphalt: \$11.00/Ton

North Fort Worth (4600 Old Decatur Road, 76106)

Flex Base: \$10.00/Ton

1/2" Minus Crushed Asphalt: \$11.00/Ton

3/8 Minus Crushed Concrete: \$11.00/Ton

South Fort Worth Plant (9301 Southwest Drive, 76134)

Flex Base: \$10.00/Ton

1/2" Minus Crushed Asphalt: \$11.00/Ton

Sherman (695 State Highway 11, 75090)
Flex Base: \$11.00/Ton

Wichita Falls (802 Pleasant View Drive, 76306)
Flex Base: \$10.00

Austin (2900 FM 973, 78725)
Flex Base: \$9.00/Ton

Screened Crushed Concrete Pricing:

3" Screened Rock: \$11.00/Ton

1 1/2" Screened Rock: \$12.00/Ton

1" Screened Rock: \$13.00/Ton

Please check our website for daily screened crushed concrete updates at all of our facilities: [Material Availability Chart](#)

We sincerely appreciate your business!

If you have any questions, please contact our main office: 972-243-5820

Big City Crushed Concrete | P.O. Box 29816, Dallas, TX 75229

Unsubscribe_newstargrading@yahoo.com

[Update Profile](#) | [Customer Contact Data Notice](#)

Sent by steve@bccclp.com powered by



Try email marketing for free today!

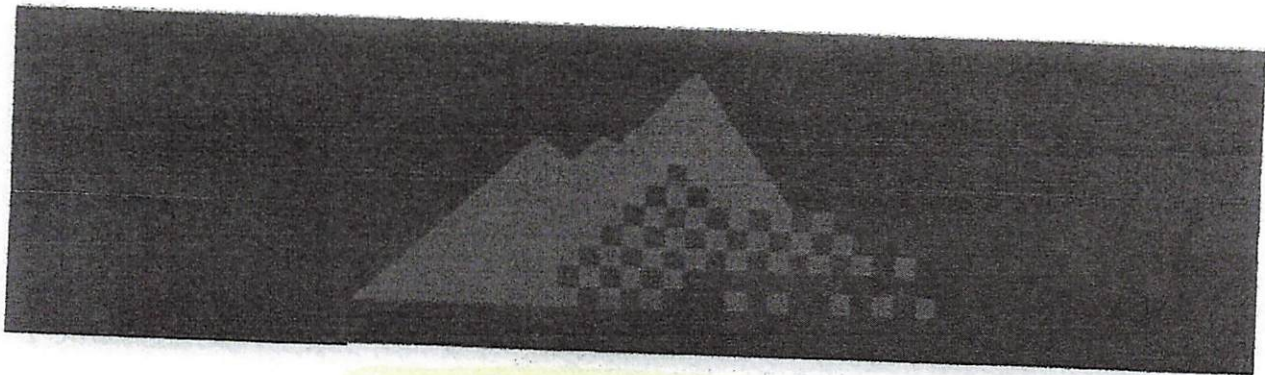
Price Increase: Screened Rock and Crushed Asphalt

From: Big City Crushed Concrete, L.P. (steve@werockdallas.com)

To: newstargrading@yahoo.com

Date: Friday, December 10, 2021, 10:24 AM CST

New Material Prices



Effective January 3rd, 2022

**Price Increase on Screened Rock &
Crushed Asphalt
Effective January 3rd, 2022**

3" Crushed Concrete will be \$12.00 per ton*

1 1/2 - 3/4" Crushed Concrete will be \$13.00 per ton*

1" Crushed Concrete will be \$14.00 per ton*

3/8 Minus Crushed Concrete will be \$12.00 per ton*

1" Crushed Asphalt will be \$11.00 per ton*

½ Crushed Asphalt will be \$13.00 per ton*

***Call our office for availability of 1 ½, 3", 3/8 Minus, 1" Crushed Concrete and ½ Crushed Asphalt. You can also find stockpile availabilities at our website: www.werockdallas.com**

These price increases will go into effect on January 3rd, 2022.

Any questions please call our office at 972-243-5820.

We sincerely appreciate your business.

Big City Crushed Concrete | P.O. Box 29816, Dallas, TX 75229

[Unsubscribe newstargrading@yahoo.com](mailto:newstargrading@yahoo.com)

[Update Profile](#) | [Constant Contact Data Notice](#)

Sent by steve@werockdallas.com powered by





February 1, 2021

To Our Valued Lattimore Customers:

After what can be viewed a very unusual year in the Dallas/Fort Worth construction market, we can all agree that we were fortunate to be part of an industry that was labeled as essential. Even with uncertainty in the market, we have continued to see a strong construction sector as a bright spot. However, with this, costs have continued to rise. Logistics, wages, and raw materials such as cement, aggregates, fly ash and admixtures all continue to see significant increases. Lattimore Materials is working daily to improve the safety and efficiency in our operations to minimize the impact of these rising costs on our customers. However, these efforts alone do not mitigate all the costs we continue to incur.

As such, these cost increases have made it necessary for us to notify our customers of a price increase. **Effective April 1, 2020, Lattimore Materials Corp. will implement an \$8.00/cy increase for ready mixed concrete to all customers in the DFW market area. Pricing for sack adjustments will increase to \$7.00 and straight cement mixes will increase to \$4.00/cy over fly ash pricing.** The current fee structure for fuel and environmental fees will remain the same. Existing concrete contracts and purchase orders received prior to April 1, 2021 will be honored at the current prices.

As customer service is and will remain a priority, we are asking our customer base to assist us as we continue to strive for daily improvements. We request that you help us by ensuring orders placed are correct in terms of yardage ordered, truck spacing, and start times to help us continually improve our service quality. Additionally, we ask any orders that you become aware will not be required be cancelled in a very timely manner, ideally two to three days prior. As we are all aware, unused and incorrectly placed orders make scheduling and providing good service difficult to achieve.

We would also like to take the opportunity to remind you of our digital solutions:

- **DirectA:** Our customer portal to create and manage their accounts, view and/or print customer account information, including account aging, invoices, payments and BOL/tickets; and
- **ConcreteDirect:** Our smartphone app that helps you track trucks in real time, place, amend, and confirm orders, view a digital record of order, chat with dispatch, view electronic tickets, etc. Sales Representatives are available to provide you with additional information on how these solutions can enhance your business.

Lattimore Materials truly values your business and is committed to remaining your supplier of choice in the ready mix industry. Our sales team members are available and ready to meet with you to address any needs or specific concerns you may have. We thank you for your continued support and business.

Sincerely,

Drew Brown

Commercial Sales Manager

Bill Hickie

Residential Sales Manager

Ron Simons

Hwy/Civil Sales Manager



May 10, 2021

To Our Valued Lattimore Customers:

Since the beginning of 2021, we have seen a sharp increase in both operational and raw material costs in the construction industry. As such, these cost increases have made it necessary for us to notify our customers of a price increase. **Effective July 1, 2021, Lattimore Materials Corp. will implement a \$6.00/cy increase for ready mixed concrete to all customers in the DFW market area.** Pricing for sack adjustments will remain at \$7.00 and straight cement mixes will remain at \$4.00/cy over fly ash pricing. The current fee structure for fuel and environmental fees will remain the same. Existing concrete contracts and purchase orders received prior to July 1, 2021 will be honored at the current prices.

Additionally, fuel prices have continued to increase dramatically, therefore Lattimore Materials Corp will charge our customary \$20.00 per load fuel surcharge across the board to offset these additional costs to the business.

We would also like to take the opportunity to remind you of the importance of keeping your account within the agreed upon terms at 30 days Net in an effort to prevent disruptions to your account standing and service to your projects.

Lattimore Materials truly values your business and is committed to remaining your supplier of choice in the ready mix industry. Our sales team members are available and ready to meet with you to address any needs or specific concerns you may have. We thank you for your continued support and business.

Sincerely,

Drew Brown

Commercial Sales Manager

Bill Hickle

Residential Sales Manager

Ron Simons

Hwy/Civil Sales Manager



December 8, 2021

To Our Valued Lattimore Customers:

Since the beginning of 2021, we have seen a sharp increase in both operational and raw material costs in the construction industry and 2022 appears to be no different. As such, these continued cost increases have made it necessary for us to notify our customers of a price increase. **Effective April 1, 2022, Lattimore Materials Corp. will implement a \$10.00/cy increase for ready mixed concrete to all customers in the DFW market area.** Pricing for sack adjustments will increase to **\$8.00** and straight cement mixes will increase to **\$5.00/cy** over fly ash pricing.

Please note that beginning January 1, 2022, all bid pricing will reflect our announced April 1, 2022 of \$10.00 per cubic yard Price Increase. Any project that will start receiving significant concrete deliveries prior to April 1, 2022 will be priced at current pricing levels and be subject to the quoted escalator schedule of \$6.00 per cubic yard every six months from bid date. All Projects that will start after April 1, 2022, will be priced with the new \$10.00 price increase. Please reach out to your sales representative for clarification or additional information. Existing concrete contracts and purchase orders will be honored at the current prices.

Additionally, fuel prices have continued to increase dramatically, therefore Lattimore Materials Corp will continue to charge our customary \$20.00 per load fuel surcharge as well as our \$20.00 per load environmental fee across the board to offset these additional costs to the business.

We would also like to take the opportunity to remind you of the importance of keeping your account within the agreed upon terms at 30 days Net in an effort to prevent disruptions to your account standing and service to your projects.

Lattimore Materials truly values your business and is committed to remaining your supplier of choice in the ready mix industry. Our sales team members are available and ready to meet with you to address any needs or specific concerns you may have. We thank you for your continued support and business.

Sincerely,

Drew Brown

Commercial Sales Manager

Bill Hickie

Residential Sales Manager

Ron Simons

Hwy/Civil Sales Manager

Big City Crushed Concrete, LLC
 P.O. Box 29816
 Dallas, TX 75229

INVOICE

Page: 1

Invoice Number: S1286504
 Invoice Date: 12/14/2021

Bill To:
 NEW STAR GRADING & PAVING
 4503 W RED BIRD LN
 DALLAS, TX 75236

Ship To:
 NEW STAR GRADING & PAVING
 4503 W RED BIRD LN
 DALLAS, TX 75236

Due Date: 1/13/2022 Customer ID: C15099
 Terms: Net 30 Days

Date	Customer PO No.	Ticket No.	Tons	Material	Unit Price	Amount	Tax	Total Price	Pay Typ	Payment Amount	Hauler
12/10/2021	MJ003	4175215	5.76	FLEX	10.00	57.60		57.60	Acc		CUSTOMER
		ARLINGTON Subtotal	5.76			57.60		57.60			

Total Tons:	5.76	Subtotal:	57.60
Subject to Sales Tax:	0.00	Invoice Discount:	0.00
Exempt from Sales Tax:	57.60	Tax:	0.00
		Total:	57.60
		Amount Paid:	0.00
		Amount Due:	57.60

WE SINCERELY APPRECIATE YOUR BUSINESS. IF THIS ACCOUNT SHOULD BECOME PAST DUE, ALL REASONABLE ATTORNEY'S FEES AND REASONABLE COSTS INCURRED IN THE COLLECTION OF THE DEBT WILL BE THE RESPONSIBILITY OF THE DEBTOR.

RAM TOOL

CONSTRUCTION SUPPLY CO.
4500 5th Avenue South, Building A
Birmingham, AL 35222

Bill To: 116111

Invoice

DOCUMENT #	DOCUMENT DATE
9503066586	12/01/2021
ACCOUNT #	DUE DATE
116111	12/31/2021
PAYMENT TERMS	
Net 30	
PURCHASE ORDER #	
SMALL STREET JOB	
TOTAL AMOUNT IN USD	
7,592.07	

NEW STAR GRADING & PAVING CO
4503 W RED BIRD LN
DALLAS TX 75236-2158

To view and pay your bills online go to:
<https://ramtool.billtrust.com>

Enrollment Token: BDF RLR RQQ

BRANCH LOCATION	SHIP TO: 5051242	DELIVERY METHOD
TX01 - DALLAS 1432 MACARTHUR DRIVE CARROLLTON, TX 75007-4417	NEW STAR GRADING & PAVING CO 4503 W RED BIRD LN DALLAS, TX 75236	Truck Delivery

PLEASE REMIT PAYMENT ONLY TO:
Ram Tool Construction Supply Co P O Box 743487 Atlanta, GA 30374-3487

ITEM	MATERIAL/DESCRIPTION	SALES ORDER/ LINE	QTY	UNIT PRICE	EXTENDED PRICE	TAX AMT
10	REB-4 DOMESTIC #4 1/2 IN X 20 FT DOMESTIC REBAR	7576347 / 10	600 EA	9.29390	5,576.34	460.05
20	MRC-WOOD 18 2" X 2" X 18" WOOD STAKE	7576347 / 20	200 EA	1.08220	216.44	17.86
30	MRC-WOOD 24 2" X 2" X 24" WOOD STAKE	7576347 / 30	200 EA	1.53190	306.38	25.28
40	MIS-EZ7/1 1 GAL JOINT/CRACK SEAL	7576347 / 40	8 EA	19.27000	154.16	12.72
50	WRM-1600 WHITE 5 1600 WHITE CURE 5-GAL PAIL	7576347 / 50	9 EA	50.05000	450.45	37.16
70	ARH-2 1/4 PV CHAIR 14LB BAG 2 1/4 PAVING CHAIR	7576347 / 70	4 BAG	21.16000	84.64	6.98
80	ARH-3 1/4 PV CHAIR 20LB BAG 3 1/4 PAVING CHAIR 500/BAG	7576347 / 80	4 BAG	56.26000	225.04	18.57

For general inquiries:
arcustomerrequest@ramtool.com
(205) 999-7001/(000) 030-1355

For lien waivers:
lienwaiver@ramtool.com

Your AR account rep:
Roxy SETSER
roxy.setser@ramtool.com
(205)905-3510

Subtotal	7,013.45
Subtotal Before Tax	7,013.45
Tax (8.25%)	578.62
Total Amount in \$	7,592.07

SAVE TIME AND MONEY WITH OUR NEW PORTAL!

Choose from two easy ways to receive your invoices: email, or our secure online site, eInvoice Connect. With email delivery, your invoices are sent once per day, and you will receive a copy of your paper bill. With eInvoice Connect, you can be notified by email when new invoices are posted and search, download, print, and pay your bills online!
Visit <http://ramtool.billtrust.com> to enroll.

Annual Agreement Change Order Worksheet

RFB# 21045- McMahon Contracting, LP. Price Agreement							
<u>Possible Contract Years:</u>		5	<u>Procurement Source:</u>		City RFB/RFP		
<u>Original Annual Contract Value:</u>		\$ 11,415,875.95	Original Total Contract Value:		\$ 57,079,379.75		
25% Maximum Increase:		\$ 2,853,968.99	Max Possible Contract Value:		\$ 71,349,224.69		
Max Possible Annual Contract Value		\$ 14,269,844.94	Proposed Total Contract Value:		\$ 60,596,801.63		
<u>Dollar Value on each Contract Term</u>							
Date	Contract Action	Initial Term	Renewal 1	Renewal 2	Renewal 3	Renewal 4	<u>CUMULATIVE CHANGE IN AMOUNT:</u>
	<i>Renewal #1</i> description of change	\$ -	\$ 879,355.47	\$ 879,355.47	\$ 879,355.47	\$ 879,355.47	<i>Renewal #1</i> \$ 3,517,421.88
	<i>Renewal #2</i>	\$ -	\$ -				<i>Renewal #2</i> \$ -
	Percentage Change	0.00%	7.70%	7.70%	7.70%	7.70%	6.16%
	Total of Changes	\$ -	\$ 879,355.47	\$ 879,355.47	\$ 879,355.47	\$ 879,355.47	\$ 3,517,421.88
	Annual Contract Value	\$ 11,415,875.95	\$ 12,295,231.42	\$ 12,295,231.42	\$ 12,295,231.42	\$ 12,295,231.42	\$ 60,596,801.63
	CURRENT TERM indicate with a "X"						Requires City Council Approval

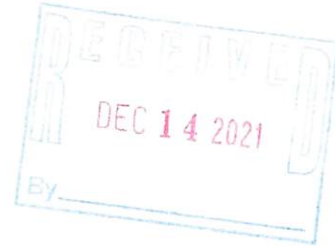
2022 ESCALATION		Concrete Pavement Replacement Price Redetermination RFB #21045			VENDOR NAME CONTACT EMAIL PHONE CITY, STATE		McMahon Contracting LP Will Mee will@mcMahoncontracting.com 972-263-6907 Grand Prairie Texas				
Item#	Line Item Description	Est. Quantity	UOM	2021 est cost	Est Cost	2022 Est Cost	New Total		\$ Inc Over 2021	% Inc Over 2021	
1	Remove 6" to 10" thick reinforced concrete 0-50 s.y.	660	SY	18.38	12,130.80	21.80	14,384.70	14,384.70	2,253.90	15.67%	
2	Remove 6" to 10" thick reinforced concrete 51-500 s.y.	1200	SY	18.38	22,056.00	21.80	26,154.00	26,154.00	4,098.00	15.67%	
3	Remove 6" to 10" thick reinforced concrete 501-1,000 s.y.	1600	SY	18.38	29,408.00	21.80	34,872.01	34,872.01	5,464.01	15.67%	
4	Remove 6" to 10" thick reinforced concrete 1,001+ s.y.	32000	SY	16.12	515,840.00	18.08	578,669.31	578,669.31	62,829.31	10.86%	
5	Remove 4" to 5" concrete sidewalk 0-250 s.y.	800	SY	10.88	8,704.00	11.79	9,432.52	9,432.52	728.52	7.72%	
6	Remove 4" to 5" concrete sidewalk 251-800 s.y.	800	SY	10.88	8,704.00	11.79	9,432.52	9,432.52	728.52	7.72%	
7	Remove 4" to 5" concrete sidewalk 801-1,200 s.y.	1200	SY	10.88	13,056.00	11.79	14,148.79	14,148.79	1,092.79	7.72%	
8	Remove 4" to 5" concrete sidewalk 1,201+ s.y.	4000	SY	10.88	43,520.00	11.79	47,162.62	47,162.62	3,642.62	7.72%	
9	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 0-250 s.y	1100	SY	58.09	63,899.00	62.42	68,659.48	68,659.48	4,760.48	6.93%	
10	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 251-800 s.y.	1100	SY	58.09	63,899.00	62.42	68,659.48	68,659.48	4,760.48	6.93%	
11	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 801-1,200 s.y.	1600	SY	58.09	92,944.00	62.42	99,868.33	99,868.33	6,924.33	6.93%	
12	4" concrete sidewalk 6.5 sack (4500 p.s.i.) 2" sand 1,201+ s.y.	6000	SY	58.09	348,540.00	62.42	374,506.23	374,506.23	25,966.23	6.93%	
13	8" concrete for pavement 6.5 sack (4500 p.s.i.) 0-500 s.y.	800	SY	71.94	57,552.00	77.46	61,966.24	61,966.24	4,414.24	7.12%	
14	8" concrete for pavement 6.5 sack (4500 p.s.i.) 501-1,000 s.y.	1600	SY	71.94	115,104.00	77.46	123,932.48	123,932.48	8,828.48	7.12%	
15	8" concrete for pavement 6.5 sack (4500 p.s.i.) 1,001+ s.y.	32000	SY	71.94	2,302,080.00	77.46	2,478,649.54	2,478,649.54	176,569.54	7.12%	
16	10" concrete for pavement 6.5 sack (4500 p.s.i.) 0-500 s.y.	600	SY	79.49	47,694.00	84.93	50,956.27	50,956.27	3,262.27	6.40%	
17	10" concrete for pavement 6.5 sack (4500 p.s.i.) 501-1,000 s.y.	1600	SY	79.49	127,184.00	84.93	135,883.39	135,883.39	8,699.39	6.40%	
18	10" concrete for pavement 6.5 sack (4500 p.s.i.) 1,001 + s.y.	4000	SY	73.87	295,480.00	78.92	315,690.83	315,690.83	20,210.83	6.40%	
19	Quick Set type Concrete (owner approved mix design) (4500 p.s.i.) 24hrs 0-200 s.y.	500	CY	172.46	86,230.00	180.67	90,334.55	90,334.55	4,104.55	4.54%	
20	Quick Set type Concrete (owner approved mix design) (4500 p.s.i.) 24hrs 201-800 s.y.	800	CY	172.46	137,968.00	180.67	144,535.28	144,535.28	6,567.28	4.54%	
21	Quick Set type Concrete (owner approved mix design) (4500 p.s.i.) 24hrs 801 + s.y.	1200	CY	172.46	206,952.00	180.67	216,802.92	216,802.92	9,850.92	4.54%	
22	8" Alley Pavement as per Standard Detail Sheet 6.5 sack (4500 p.s.i.) concrete 0-500 s.y.	700	SY	80.59	56,413.00	88.89	62,223.54	62,223.54	5,810.54	9.34%	
23	8" Alley Pavement as per Standard Detail Sheet 6.5 sack (4500 p.s.i.) concrete 501-1,000	1600	SY	80.59	128,944.00	88.89	142,225.23	142,225.23	13,281.23	9.34%	
24	8" Alley Pavement as per Standard Detail Sheet 6.5 sack (4500 p.s.i.) concrete 1,001 +	6000	SY	70.79	424,740.00	78.08	468,488.22	468,488.22	43,748.22	9.34%	
25	Type "D" HMA compacted in-place for temp. and permanent tie-ins of concrete pavement to asphalt to be paid by tickets	1200	TN	101.50	121,800.00	103.54	124,248.18	124,248.18	2,448.18	1.97%	
26	Cold mix asphalt mix complete in-place for tie-in of pavements	1000	TN	106.25	106,250.00	132.81	132,812.50	132,812.50	26,562.50	20.00%	
27	Barrier free ramps at intersections to include all removal and sawing with out 24" blockout 6.5 sack (4500 p.s.i.) concrete per the City's Standard Detail Sheets	160	EA	1,600.04	256,006.40	1,969.33	315,092.68	315,092.68	59,086.28	18.75%	
28	Double connect barrier free ramps at intersections to include all removal and sawing with out 24" blockout 6.5 sack (4500 p.s.i.) concrete per the City's Standard Detail Sheets	160	EA	1,600.04	256,006.40	1,969.33	315,092.68	315,092.68	59,086.28	18.75%	
29	Replace water meter box and lid as per City Standard Detail Sheets. City will supply the boxes and lids.	250	EA	95.00	23,750.00	95.00	23,750.00	23,750.00	0.00	0.00%	
30	Install water meter riser as per City Standard Detail Sheets, City will provide the water risers.	250	EA	95.00	23,750.00	95.00	23,750.00	23,750.00	0.00	0.00%	
31	6" Integral Curb	15000	LF	3.09	46,350.00	3.24	48,551.63	48,551.63	2,201.63	7.53%	
32	8" Integral Curb	2200	LF	3.28	7,216.00	3.44	7,560.20	7,560.20	344.20	4.55%	
33	6" concrete drive approach up to connecting sidewalk or R.O.W. 6.5 sack (4500 p.s.i.)	3000	SY	75.79	227,370.00	80.92	242,762.95	242,762.95	15,392.95	6.34%	
34	30" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 0-100 L.F.	500	LF	33.91	16,955.00	35.48	17,740.02	17,740.02	785.02	4.43%	

Item#	Line Item Description	Est. Quantity	UOM	2021 est cost	Est Cost	2022 Est Cost	New Total		\$ Inc Over 2021	% Inc Over 2021
35	30" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 101 + l.f.	10000	LF	25.48	254,800.00	26.35	263,500.00	263,500.00	8,700.00	3.30%
36	24" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 0-100 l.f.	500	LF	34.28	17,140.00	37.18	18,590.00	18,590.00	1,450.00	7.80%
37	24" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 101 + l.f.	10000	LF	25.36	253,600.00	27.35	273,500.00	273,500.00	19,900.00	7.28%
38	18" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 0-100 l.f.	100	LF	18.38	1,838.00	20.38	2,038.00	2,038.00	200.00	9.81%
39	18" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 101-300 l.f.	200	LF	18.38	3,676.00	20.38	4,076.00	4,076.00	400.00	9.81%
40	18" curb and gutter to include 6" curb 6.5 sack (4500 p.s.i.) 301 + l.f.	10000	LF	13.57	135,700.00	13.57	135,700.00	135,700.00	0.00	0.00%
41	Mow strip 12" x 12" #3 Rebar Ladder Shape @ 24" spacing 6.5 sack (4500 p.s.i.)	400	LF	17.32	6,928.00	17.32	6,928.00	6,928.00	0.00	0.00%
42	3" High Reinforced Concrete Berm as per Specifications, 8" inches wide	500	LF	6.92	3,460.00	6.92	3,460.00	3,460.00	0.00	0.00%
43	3" High Reinforced Concrete Berm as per Specifications, 16" inches wide	200	LF	9.48	1,896.00	9.48	1,896.00	1,896.00	0.00	0.00%
44	4" High Reinforced Concrete Berm as per Specifications, 8" inches wide	500	LF	8.64	4,320.00	8.64	4,320.00	4,320.00	0.00	0.00%
45	4" High Reinforced Concrete Berm as per Specifications, 16" inches wide	200	LF	12.07	2,414.00	12.07	2,414.00	2,414.00	0.00	0.00%
46	SDHPT (grade 2), Type A Flex Base - provided, placed and compacted by contractor	20000	Ton	41.15	823,000.00	48.25	965,000.00	965,000.00	142,000.00	14.72%
47	5"- 6" depth stamped patterned median (3000 p.s.i.) pavement. 0-50+ s.y.	1500	SY	83.50	125,250.00	83.50	125,250.00	125,250.00	0.00	0.00%
48	Retaining wall (0-3') with 6' integral sidewalk 6.5 sack (4500 p.s.i.) 0-50+ l.f.	5000	LF	56.30	281,500.00	56.30	281,500.00	281,500.00	0.00	0.00%
49	Retaining wall (0-3') with 4' integral sidewalk 6.5 sack (4500 p.s.i.) 0-50+ l.f.	5000	LF	56.30	281,500.00	56.30	281,500.00	281,500.00	0.00	0.00%
50	Remove HMAC	10000	SY	14.15	141,500.00	16.76	167,550.15	167,550.15	26,050.15	15.55%
51	Saw cut full depth concrete	30000	LF	3.60	108,000.00	3.93	117,817.20	117,817.20	9,817.20	8.33%
52	Saw cut full depth concrete sidewalk	2000	LF	3.65	7,300.00	4.52	9,032.29	9,032.29	1,732.29	19.18%
53	Saw cut asphalt full depth	15000	LF	4.60	69,000.00	5.96	89,410.20	89,410.20	20,410.20	22.83%
54	Rout and Seal Random Cracks to include cleaning, complete in-place on both asphalt and concrete Type to be submitted for review and approval. (hot or cold pour meeting)	10000	LF	1.85	18,500.00	1.96	19,556.35	19,556.35	1,056.35	5.40%
55	Sodding on all sides of construction, disturbed areas - Tiff 419 Bermuda, water to	10000	SY	7.63	76,300.00	8.49	84,860.86	84,860.86	8,560.86	10.99%
56	Sodding on all sides of construction, disturbed areas - Raleigh St. Augustine, water to	10000	SY	8.83	88,300.00	9.82	98,198.43	98,198.43	9,898.43	10.08%
57	Unclassified Excavation 0-100 c.y.	1000	CY	23.32	23,320.00	25.48	25,484.10	25,484.10	2,164.10	8.49%
58	Unclassified Excavation 101-300 c.y.	600	CY	23.32	13,992.00	25.48	15,290.46	15,290.46	1,298.46	8.49%
59	Unclassified Excavation 301+ c.y.	20,000	CY	19.92	398,400.00	20.64	412,702.56	412,702.56	14,302.56	3.47%
60	Excavation/Removal of curb and gutter only 0-100 l.f.	200	LF	7.86	1,572.00	9.88	1,976.95	1,976.95	404.95	20.48%
61	Excavation/Removal of curb and gutter only 100-500 l.f.	200	LF	7.86	1,572.00	9.88	1,976.95	1,976.95	404.95	20.48%
62	Excavation/Removal of curb and gutter only 501+ l.f.	15000	LF	4.55	68,250.00	5.24	78,617.18	78,617.18	10,367.18	13.19%
63	Traffic Control on Major Thoroughfares,- (to be determined by owner) -This unit pay item will be used to offset cost for additional barricading when working on major thoroughfares. It will be one per work order project	20	EA	1,601.00	32,020.00	1,829.78	36,595.66	36,595.66	4,575.66	12.50%
64	Silt Fence - furnish and install complete in place	500	LF	2.00	1,000.00	2.00	1,000.00	1,000.00	0.00	0.00%
65	Inlet Protection, furnish and install complete in place as per detail sheets	20	EA	75.00	1,500.00	75.00	1,500.00	1,500.00	0.00	0.00%
66	Construction (Stone) Entrance, complete in place, as per details and specifications	10	EA	500.00	5,000.00	500.00	5,000.00	5,000.00	0.00	0.00%
67	Unclassified Channel/Swale Grading and Compaction (95% Standard Proctor Density at Optimum Moisture), clearing and grubbing, work fully performed, paid for by the calculated cubic yard of earth moved compared to existing contours vs. final contours. Earth hauled offsite will be a separate pay item (See Unclassified Excavation).	1000	CY	12.47	12,470.00	13.63	13,628.46	13,628.46	1,158.46	8.50%
68	Select Fill Material for Channel/Swale Grading and Compaction pay for Material and Hauling to Site, placing the material shall be billed under Unclassified Channel/Swale Grading and Compaction Bid Item. Paid by number of trucks.	1000	CY	12.47	12,470.00	12.47	12,470.00	12,470.00	0.00	0.00%
69	Topsoil for Finished Grading, furnish and place including fine grading to drain. Paid by number of trucks.	1000	CY	18.00	18,000.00	18.00	18,000.00	18,000.00	0.00	0.00%

Item#	Line Item Description	Est. Quantity	UOM	2021 est cost	Est Cost	2022 Est Cost	New Total		\$ Inc Over 2021	% Inc Over 2021
70	Cleaning Culverts (18"-12"- 33" Pipe or 2.5' Height Box) remove debris, earth and other objectionable material from pipe and box culverts, and hauling material off site. Paid by number of truck loads.	1000	CY	9.00	9,000.00	9.00	9,000.00	9,000.00	0.00	0.00%
71	Cleaning Culverts (36"+ Pipe or 2.5'+ Height Box) remove debris, earth and other objectionable material from pipe and box culverts, and hauling material off site. Paid by	1000	CY	4.50	4,500.00	4.50	4,500.00	4,500.00	0.00	0.00%
72	Additional Clearing and Grubbing Along Channels, Headwalls, and Inlets, as called for on the plans and hauling the material off site. Paid by number of truck loads.	1000	CY	4.50	4,500.00	4.50	4,500.00	4,500.00	0.00	0.00%
73	Structural Reinforced Concrete, flumes, retaining walls, Wing walls and Headwalls to TxDot Standards, and other miscellaneous structural items, including formwork, cutting joints, testing, saw cutting existing pavement, pavement repair along interface of structure and saw cut line, doweling into existing concrete, excavation, backfill and other miscellaneous items of work, complete in place. Paid by volume of concrete.	1500	CY	333.23	499,845.00	333.23	499,845.00	499,845.00	0.00	0.00%
74	Non & Reinforced Concrete (2,000 p.s.i.) thrust blocking, pipe collars, pipe plugs, encasement for utility mains, including formwork, cutting joints, testing, excavation, backfill and other miscellaneous items of work, complete in place.	500	CY	33.75	16,875.00	33.75	16,875.00	16,875.00	0.00	0.00%
75	12" Grouted Rock Riprap over Filter Fabric, furnish and install complete in place, 40% of rock exposed, excavation, as per details work fully performed. Paid by tickets.	500	CY	50.63	25,315.00	50.63	25,315.00	25,315.00	0.00	0.00%
76	24" Grouted Riprap over Filter Fabric, furnish and install complete in place, 40% of rock exposed, excavation, as per details work fully performed. Paid by tickets.	1000	CY	60.75	60,750.00	60.75	60,750.00	60,750.00	0.00	0.00%
77	Sheeting Shoring and Bracing, Site Specific Trench Safety Plan submitted to owner, OSHA Standards that are in effect at the time of bid opening, payment per each general site location. Bid Price for Implementation of Plan shall be by separate bid item.	10	EA	45.00	450.00	45.00	450.00	450.00	0.00	0.00%
78	Implement Trench Safety Plan 0-6.1 foot depth to flowline of pipe, furnish and install complete in place, paid by linear foot.	200	LF	1.60	320.00	1.60	320.00	320.00	0.00	0.00%
79	Implement Trench Safety Plan 6.1-10 foot depth to flowline of pipe, furnish and install complete in place, paid by linear foot.	200	LF	1.60	320.00	1.60	320.00	320.00	0.00	0.00%
80	Implement Trench Safety Plan 10.1-15 foot depth to flowline of pipe, furnish and install complete in place, paid by linear foot.	200	LF	1.60	320.00	1.60	320.00	320.00	0.00	0.00%
81	Additional Compacted Native Backfill for Pipe and Box Culverts, use existing material, excavation, backfill, to be paid only for facilities with over 6 feet of cover. First 6 feet of cover over flowline of pipe is subsidiary to the pipe or box pay item. Paid by tickets.	500	CY	8.00	4,000.00	8.00	4,000.00	4,000.00	0.00	0.00%
82	Additional Modified flowable backfill - per tickets turned in daily, to be paid only if called for by the inspector Paid by ticket.	500	CY	30.00	15,000.00	30.00	15,000.00	15,000.00	0.00	0.00%
83	Additional Well Graded Crushed Stone (1/4" to 3/4") Backfill for embedment, to be paid only if specifically called for by the inspector. Paid by ticket.	500	CY	12.80	6,400.00	12.80	6,400.00	6,400.00	0.00	0.00%
84	Additional Well Graded Crushed Stone (1" to 3") Backfill for embedment, to be paid only if specifically called for by inspector. Paid by ticket.	500	CY	12.80	6,400.00	12.80	6,400.00	6,400.00	0.00	0.00%
85	Additional Sand Backfill for Pipe or Box Culverts, to be paid only if specifically called for by the inspector. Paid by ticket.	500	CY	5.80	2,900.00	5.80	2,900.00	2,900.00	0.00	0.00%
86	Additional Cement Treated Sand Backfill for Box Culverts, as per details work fully performed, to be paid only if specifically called for by the inspector. Paid by ticket.	500	CY	14.40	7,200.00	14.40	7,200.00	7,200.00	0.00	0.00%
87	Reinforced Concrete Box Culvert, including formwork, cutting joints, testing, embedment, excavation, backfill and other miscellaneous items of work, per TxDot Standards, complete in place. Paid by volume of concrete calculated from Plans. Contractor may use	500	CY	204.00	102,000.00	204.00	102,000.00	102,000.00	0.00	0.00%
88	48" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6'	50	LF	149.56	7,478.00	149.56	7,478.00	7,478.00	0.00	0.00%

Item#	Line Item Description	Est. Quantity	UOM	2021 est cost	Est Cost	2022 Est Cost	New Total		\$ Inc Over 2021	% Inc Over 2021
89	48" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6' of cover, 26	75	LF	149.56	11,217.00	149.56	11,217.00	11,217.00	0.00	0.00%
90	48" RCP storm drain pipe connection, furnish and install complete in place.	10	EA	80.00	800.00	80.00	800.00	800.00	0.00	0.00%
91	36" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6'	75	LF	94.31	7,073.25	94.31	7,073.25	7,073.25	0.00	0.00%
92	36" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6' of cover,	100	LF	94.31	9,431.00	94.31	9,431.00	9,431.00	0.00	0.00%
93	36" RCP storm drain pipe connection, furnish and install complete in place.	10	EA	80.00	800.00	80.00	800.00	800.00	0.00	0.00%
94	30" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6'	300	LF	77.54	23,262.00	77.54	23,262.00	23,262.00	0.00	0.00%
95	30" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6' of cover,	300	LF	77.54	23,262.00	77.54	23,262.00	23,262.00	0.00	0.00%
96	30" RCP storm drain pipe connection, furnish and install complete in place.	10	Each	80.00	800.00	80.00	800.00	800.00	0.00	0.00%
97	24" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6'	300	LF	66.10	19,830.00	66.10	19,830.00	19,830.00	0.00	0.00%
98	24" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6' of cover,	1000	LF	52.00	52,000.00	52.00	52,000.00	52,000.00	0.00	0.00%
99	24" RCP storm drain pipe connection, furnish and install complete in place.	20	Each	80.00	1,600.00	80.00	1,600.00	1,600.00	0.00	0.00%
100	18" CL III RCP storm drain pipe, open cut furnish and install complete in place including embedment, excavation, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6'	300	LF	50.94	15,282.00	50.94	15,282.00	15,282.00	0.00	0.00%
101	18" CL III RCP storm drain pipe, open cut, furnish and install complete in place including embedment, backfill, clay cut-off walls, modified flowable fill, 0-6 feet of cover from flowline of pipe, use additional compacted backfill for pipe with more than 6' of cover,	300	LF	50.94	15,282.00	50.94	15,282.00	15,282.00	0.00	0.00%
102	18" RCP storm drain pipe connection, furnish and install complete in place.	10	Each	80.00	800.00	80.00	800.00	800.00	0.00	0.00%
103	Recessed Curb Inlet (5'), remove old inlet/furnish and install complete in place, pipe connections, excavation, backfill, as per specifications.	30	Each	1,600.00	48,000.00	1,600.00	48,000.00	48,000.00	0.00	0.00%
104	Recessed Curb Inlet (10'), remove old inlet/furnish and install complete in place, pipe connections, excavation, backfill, as per specifications.	30	Each	1,800.00	54,000.00	1,800.00	54,000.00	54,000.00	0.00	0.00%
105	Modified Combination Recessed Curb & Grate Inlet (5'), remove old inlet/furnish and install complete in place, pipe connections, excavation, backfill, as per specifications.	30	Each	1,600.00	48,000.00	1,600.00	48,000.00	48,000.00	0.00	0.00%
106	Modified Combination Recessed Curb & Grate Inlet (10'), remove old inlet/furnish and install complete in place, pipe connections, excavation, backfill, as per specifications.	30	Each	1,800.00	54,000.00	1,800.00	54,000.00	54,000.00	0.00	0.00%
107	Standard Depressed Curb (5'), remove old inlet/furnish and install complete in place, pipe connections, excavation, backfill, as per specifications.	30	Each	2,000.00	60,000.00	2,000.00	60,000.00	60,000.00	0.00	0.00%
108	Standard Depressed Curb (10'), remove old inlet/furnish and install complete in place, pipe connections, excavation, backfill, as per specifications.	30	Each	2,600.00	78,000.00	2,600.00	78,000.00	78,000.00	0.00	0.00%
109	Increase Proposed Inlet Length by 5 Linear Feet (Recessed Curb Inlet), contractor to bill for recessed curb inlet (5') and the increase for each additional 5 linear feet of inlet	30	Each	240.00	7,200.00	240.00	7,200.00	7,200.00	0.00	0.00%

Item#	Line Item Description	Est. Quantity	UOM	2021 est cost	Est Cost	2022 Est Cost	New Total		\$ Inc Over 2021	% Inc Over 2021
110	Increase Proposed Inlet Length by 5 Linear Feet (Modified Combination Recessed Curb Inlet), contractor to bill for modified recessed curb inlet (5') and the increase for each additional 5 linear feet of inlet opening.	30	Each	240.00	7,200.00	240.00	7,200.00	7,200.00	0.00	0.00%
111	Increase Proposed Inlet Length by 5 Linear Feet (Standard Depressed Curb Inlet), contractor to bill for standard depressed curb inlet (5') and the increase for each additional 5 linear feet of inlet opening.	30	Each	240.00	7,200.00	240.00	7,200.00	7,200.00	0.00	0.00%
112	5' inlet Extra Depth of Recessed/Standard Inlet per 1' foot	10	LF	60.00	600.00	60.00	600.00	600.00	0.00	0.00%
113	10' inlet Extra Depth of Recessed/Standard Inlet per 1' foot	10	LF	60.00	600.00	60.00	600.00	600.00	0.00	0.00%
114	Remove and replace 5" inlet top. As approved by Inspector.	30	Each	1,800.00	54,000.00	1,800.00	54,000.00	54,000.00	0.00	0.00%
115	Remove and replace 10" inlet top. As approved by Inspector.	30	Each	2,000.00	60,000.00	2,000.00	60,000.00	60,000.00	0.00	0.00%
116	5' x 5' Type "Y" (table top) inlet, furnish and install complete in place, pipe connections, as per plans.	30	Each	3,800.00	114,000.00	3,800.00	114,000.00	114,000.00	0.00	0.00%
117	4' x 4' Type "Y" (table top) inlet, furnish and install complete in place, pipe connections, as per plans.	30	Each	3,000.00	90,000.00	3,000.00	90,000.00	90,000.00	0.00	0.00%
118	Type "A, B or E" Storm Drain Manhole, furnish and install, complete in place, Ring and Cover, pipe connections, 0-15' depth to flowline maximum, as per specifications, use	300	CY	457.60	137,280.00	457.60	137,280.00	137,280.00	0.00	0.00%
119	Stacked Manhole Extension, as per details, 48" dia., Ring and Cover, collar around pipe, pipe connections, and work fully performed.	50	VF	80.00	4,000.00	80.00	4,000.00	4,000.00	0.00	0.00%
120	Adjust Water Mains, Wastewater Mains, Manholes, or other utility conflicts with the storm drain pipe, furnish and install all materials complete in place, contractor to be paid cost of labor and materials & equipment (invoices submitted to owner) plus percentage over cost (contractor shall fill in percent markup for unit cost)	1%	%	9.60	0.10	9.60	0.10	0.10	0.00	0.00%
121	Utility Pole Bracing, coordinating with Franchise Utility Company, bracing pole or paying franchise utility company to brace pole. Bracing shall be to franchise utility standards.	25	Each	400.00	10,000.00	400.00	10,000.00	10,000.00	0.00	0.00%
122	Type A, B, or E, Storm Drain Manhole, furnish and install complete in place, Ring and Cover, pipe connections, 6.1-8' depth to flowline maximum, as per specifications, use stacked manhole extension, see standard detail sheets.	200	LF	40.00	8,000.00	40.00	8,000.00	8,000.00	0.00	0.00%
123	Type A, B, or E, Storm Drain Manhole, furnish and install complete in place, Ring and Cover, pipe connections, 8.1-10' depth to flowline maximum, as per specifications, use stacked manhole extension, see standard detail sheets.	200	LF	40.00	8,000.00	40.00	8,000.00	8,000.00	0.00	0.00%
124	Type A, B, or E, Storm Drain Manhole, furnish and install complete in place, Ring and Cover, pipe connections, 10.1-12' depth to flowline maximum, as per specifications, use stacked manhole extension, see standard detail sheets.	200	LF	40.00	8,000.00	40.00	8,000.00	8,000.00	0.00	0.00%
125	Type A, B, or E, Storm Drain Manhole, furnish and install complete in place, Ring and Cover, pipe connections, 12.1-14' depth to flowline maximum, as per specifications, use stacked manhole extension, see standard detail sheets.	200	LF	40.00	8,000.00	40.00	8,000.00	8,000.00	0.00	0.00%
126	Rock Filler Dam Type 1	100	LF	16.00	1,600.00	16.00	1,600.00	1,600.00	0.00	0.00%
127	Rock Filler Dam Type 2	100	LF	16.00	1,600.00	16.00	1,600.00	1,600.00	0.00	0.00%
128	Rock Filler Dam Type 3	100	LF	16.00	1,600.00	16.00	1,600.00	1,600.00	0.00	0.00%
ESTIMATED GRAND TOTAL					11,415,875.95	ESTIMATED GRAND TOTAL	12,295,231.42		879,355.48	7.15%



MCMAHON CONTR LP
3019 ROY ORR BLVD
GRAND PRAIRIE TX 75050-7108

December 7, 2021

Dear Valued SRM Customer:

We would like to express our appreciation for you and your continuous business with Smyrna Ready Mix Concrete. Our success would not have happened if it was not for our loyal customers. We strive to build long lasting partnerships with our customers and pride ourselves in knowing your success is our success.

For years, SRM Concrete has offered exceptional service along with quality concrete to meet your needs. We surround ourselves with great people and excellent equipment to ensure the service we provide remains unmatched. You and others alike know the value and importance of exceptional service and that it cannot be replaced.

These past few years have been challenging. Like many businesses, the COVID-19 pandemic has impacted us significantly. We have worked hard to keep our costs low in order to maintain our current pricing, but unfortunately, it is necessary we adjust our pricing. Our inputs have steadily risen which were mostly driven by increased labor costs and raw materials.

Due to the increase of labor costs and other raw materials. **Effective February 1, 2022, there will be a per yard increase:**

Dallas Fort-Worth TX Market: \$7 dollar per yard increase.

Houston TX Market: \$7 dollar per yard increase.

You will see this price increase reflected on all ready-mix concrete purchases.

We will continue to honor existing quoted projects.

We sincerely appreciate your business and look forward to the many opportunities we will have to grow together in our future endeavors.

Sincerely,

Jeff Hollingshead
Chief Executive Officer

"Quality Concrete - Unmatched Service"

1136 Second Avenue, North • Nashville, TN 37208 • www.smyrnareadymix.com

DISPATCH (615) 255-1900 • **OFFICE** (615) 355-1028 • **FAX** (615) 242-3064



December 8, 2021

To Our Valued Lattimore Customers:

Since the beginning of 2021, we have seen a sharp increase in both operational and raw material costs in the construction industry and 2022 appears to be no different. As such, these continued cost increases have made it necessary for us to notify our customers of a price increase. **Effective April 1, 2022, Lattimore Materials Corp. will implement a \$10.00/cy increase for ready mixed concrete to all customers in the DFW market area.** Pricing for sack adjustments will increase to **\$8.00** and straight cement mixes will increase to **\$5.00/cy** over fly ash pricing.

Please note that beginning January 1, 2022, all bid pricing will reflect our announced April 1, 2022 of \$10.00 per cubic yard Price Increase. Any project that will start receiving significant concrete deliveries prior to April 1, 2022 will be priced at current pricing levels and be subject to the quoted escalator schedule of \$6.00 per cubic yard every six months from bid date. All Projects that will start after April 1, 2022, will be priced with the new \$10.00 price increase. Please reach out to your sales representative for clarification or additional information. Existing concrete contracts and purchase orders will be honored at the current prices.

Additionally, fuel prices have continued to increase dramatically, therefore Lattimore Materials Corp will continue to charge our customary \$20.00 per load fuel surcharge as well as our \$20.00 per load environmental fee across the board to offset these additional costs to the business.

We would also like to take the opportunity to remind you of the importance of keeping your account within the agreed upon terms at 30 days Net in an effort to prevent disruptions to your account standing and service to your projects.

Lattimore Materials truly values your business and is committed to remaining your supplier of choice in the ready mix industry. Our sales team members are available and ready to meet with you to address any needs or specific concerns you may have. We thank you for your continued support and business.

Sincerely,

Drew Brown

Commercial Sales Manager

Bill Hickie

Residential Sales Manager

Ron Simons

Hwy/Civil Sales Manager



Lehigh Hanson Aggregates
300 East John Carpenter
Irving, Texas 75062



November 16, 2021

Dear Valued Customer:

We appreciate your continued support and commitment to Hanson Aggregates. Our goal is to offer the highest quality materials and the best support and customer service in the market while maintaining our partnerships with our customers.

Effective April 1st, 2022 the following increases will be implemented at our plants that serve the Greater DFW area:

<u>Quarries</u>	<u>Products</u>	<u>Price Increase (Per Ton)</u>
Bridgeport & Lake Bridgeport	Clean Stone	\$1.75
Bridgeport & Lake Bridgeport	Utility Stone	\$1.00
Bridgeport & Lake Bridgeport	Base, Manufactured Sand	\$1.00
Bristol/Rosser	Concrete Sand	\$1.75
Bristol/Rosser	Pea Gravel	\$.50
Whitney	All Products	\$.75

Please speak with your sales representative concerning 1" Gravel pricing from Bristol and Rosser.

Effective January 1, 2022 the following increases will be implemented at our terminals that serve the Greater DFW area:

<u>Terminals</u>	<u>Products</u>	<u>Price Increase (Per Ton)</u>
Midlothian, Terrell and Cart	All products	\$2.25

Hanson values your business and appreciates your continued support. If you have any questions, please contact your sales representative or me.

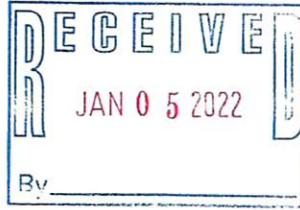
Sincerely,

Roe Timmons
North Texas Sales Manager
214-460-4972



Southwest Ready Mix Region
North Texas Ready Mix District

December 29th, 2021



Dear valued customer:

Please accept our continued appreciation for your business and ongoing support. All Martin Marietta team members remain fully invested in providing you with the highest levels of service and quality.

Martin Marietta will implement the following price structure, effective February 1, 2022. Additionally, please be prepared for another price increase effective May 1, 2022.

Effective February 1, 2022:

- The price of ready-mix concrete will increase \$6.00 per cubic yard
- Sack Adjustments will be an additional \$7.00 per cubic yard
- Straight Cement Mixes will be an additional \$4.00 per cubic yard
- Service fees will be \$40.00 per load
- Cancellation fees will be \$300 per hour, for the duration of the planned pour, with a 3-hour (or \$900) minimum. These fees will apply to orders that are cancelled less than 24 hours prior to the scheduled day and time.
- **Less than Truck Load (LTL):** Our delivered concrete is priced based on an expectation of 10 cubic yards per load; yet, many of our deliveries are for less than 10 cubic yards. We will continue charging a **less than truck load (LTL)** fee per the attached schedule.
- See attached schedule for all other fees and ancillary charges.

For projects bidding after February 1, 2022, we will begin quoting with the increased prices stated above. As with all quotes, prices will expire 30 days beyond the date of issue unless awarded by issued Purchase Order. All projects under contract prior to this date will continue to be invoiced in accordance to the original purchase order agreement.

Additionally, due to unanticipated raw material shortages, prices for ready mix concrete may be reevaluated and adjusted at any time. Martin Marietta will not be liable for costs incurred due to increases in material costs, project delays, or reduced availability of raw materials. Fly ash shortages have become increasingly severe and unpredictable. In lieu of delaying project activity until fly ash becomes available, we are happy to offer straight cement mixes at unit prices that reflect our cement sack adjustment.

Your sales representative will be in touch with you personally over the next few weeks to answer any questions that you may have. Additionally, please feel free to contact me at (972) 647-3804 to discuss any issues or concerns you may have.

Sincerely,


Derek S. Gordon

Regional Vice President/General Manager

North Texas Ready Mix District
1503 LBJ Freeway, Suite 400, Dallas, TX 75234
t. (972) 647-3804 f. (972) 988-7531 m. (214) 732-9777 e. derek.gordon@martinmarietta.com
www.martinmarietta.com



1834 Carpenter Rd. Hutchins, TX 75141

214.371.1019 Office

972.225.6296 Dispatch

DEC. 08 2021

December 1, 2021

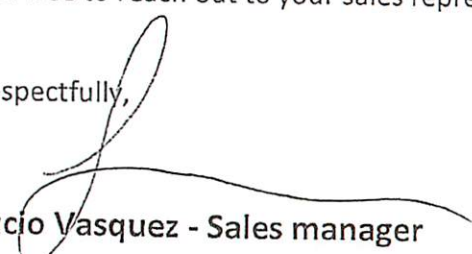
Dear Valued Customer,

Thank you for choosing Estrada Ready Mix as a supplier for your business needs in 2021. We understand it's a choice and we sincerely value your confidence in our company. We look forward to continuing doing business with your company in 2022 and beyond.

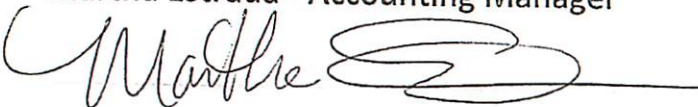
Due to the current economic climate and price increases for fuel, labor and materials associated with producing concrete, Estrada Ready Mix will be implementing a \$10.00 per cubic yard price increase effective January 1st, 2022. We are providing this advance notice now so that you can plan accordingly for 2022.

Thanks again for choosing Estrada Ready Mix and if you have any questions or concerns, please feel free to reach out to your sales representative.

Respectfully,


Lucio Vasquez - Sales manager

Martha Estrada - Accounting Manager





**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: Chris Ginapp, Senior Recreation Superintendent

PRESENTER: Duane Strawn, Director, Parks, Arts and Recreation

TITLE: Purchase and replacement for the Audio/Visual Setup and related components for The Summit ballrooms from Infinity Sound Ltd. In the amount of \$64,587 through a BuyBoard contract

RECOMMENDED ACTION: Approve

ANALYSIS:

As previously identified and provided for during the FY22 Budget process, the original audio/visual technology setup in the three ballrooms at The Summit has reached its lifetime capacity and must be replaced. Staff received a proposal from Infinity Sound, Ltd. in the amount of \$64,587 for demo and disposal of the existing setup, installation of four (4) new Epson LCD Laser Projectors and other related components through their BuyBoard contract #563-18.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master inter-local cooperative agreements with various entities including BuyBoard.

BuyBoard is able to save money by pooling the impressive purchasing power of their members, which include hundreds of school districts, municipalities, counties, other local governments, and nonprofits across Texas. They use the power of numbers as leverage to get better prices with the same vendors we use now.

FINANCIAL CONSIDERATION:

Funding is available for the purchase of the audio/visual setup for the Summit ballrooms in the Parks Capital Projects Fund (317193), WO #02204203 (FY22 Summit Building).

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 317193 - 02204203
 Project Title: FY22 Summit Building
 Current Request: \$0.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Minor Equip (60520)	\$62,910	\$0		\$0	\$62,910
Bldg & Ground Maint (63010)	\$13,369	\$0		\$0	\$13,369
Lighting (68637)	\$38,625	\$38,625			
Equip/Hardware/Sup(68640)	\$65,386	\$65,386			
TOTAL	\$180,290	\$104,011	\$0	\$0	\$76,279



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/1/2022

REQUESTER: Venona McGee

PRESENTER: Ray Riedinger, Facility Services Manager

TITLE: Price agreement for HVAC services including testing air balance, equipment, installations, and repairs from Trane, Inc. through an interlocal agreement with Omnia Partners at an estimated cost of \$750,000.00 for one year, and authorize the City Manager to execute any change orders with aggregate price fluctuations of up to \$50,000.00 or 25% so long as sufficient funding is appropriated by the City Council to satisfy the city's obligation during the renewal terms

RECOMMENDED ACTION: Approve

ANALYSIS:

Facility Services will procure HVAC services, including testing air balance, equipment, installations, and repairs on an as-needed basis for citywide properties. Trane, Inc. has provided excellent quality of work on all projects.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master interlocal cooperative agreements with various entities including Omnia Partners.

Omnia Partners (formerly National IPA) contracts have been awarded via a thorough Request for Proposal (RFP) competitive solicitation by a public agency/governmental entity (e.g., state, city, county, public university or school district). The contracting process is the foundation of National IPA and sets us apart from other cooperatives. In order for even the most restrictive agencies nationwide to realize the best value offered by cooperative procurement, National IPA ensures that industry best practices, processes and procedures are applied.

The Omnia Partners contract #15-JLP-023 began October 1, 2015 and will expire March 31, 2023.

FINANCIAL CONSIDERATION:

Funds are available in various departments' budgets and will be charged accordingly through the end of the current fiscal year. Funding for future fiscal years will be paid from that year's approved budgets.



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/1/2022

REQUESTER: Venona McGee

PRESENTER: Ray Riedinger, Facility Services Manager

TITLE: Price agreement for plumbing services from The Brandt Companies, LLC through an interlocal agreement with BuyBoard at an estimated cost of \$100,000.00. This agreement will be for one year with the option to renew for one additional one-year period totaling \$200,000.00 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of up to \$50,000.00 or 25% so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

RECOMMENDED ACTION: Approve

ANALYSIS:

This contract will be for Facility Services to utilize plumbing services in all citywide-owned properties on an as-needed basis. The Brandt Companies, LLC has provided outstanding work on multiple projects.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master interlocal cooperative agreements with various entities including Omnia Partners.

The BuyBoard is able to save money by pooling the impressive purchasing power of their members, which include hundreds of school districts, municipalities, counties, other local governments, and nonprofits across Texas. They use the power of numbers as leverage to get better prices with the same vendors we use now.

The BuyBoard contract #638-21 began March 1, 2021, and will expire February 28, 2024.

FINANCIAL CONSIDERATION:

Funds are available in various departments' budgets and will be charged accordingly through the end of the current fiscal year. Funding for future fiscal years will be paid from that year's approved budgets.



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/1/2022

REQUESTER: Venona McGee

PRESENTER: Ray Riedinger, Facility Services Manager

TITLE: Price agreement for general contracting services from Thatch Engineering through a national cooperative agreement with TIPS at an estimated annual cost of \$750,000.00. This agreement will be for one year with the option to renew for four additional one-year periods totaling \$3,750,000.00 if all extensions are exercised. Authorize the City Manager to execute the renewal options with aggregate price fluctuations of up to \$50,000.00 or 25% so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

RECOMMENDED ACTION: Approve

ANALYSIS:

This contract will be for Facility Services to utilize for the purchase of general contracting services for citywide properties on an as-needed basis. Thatch Engineering is a General Contracting business specializing in building exterior consulting and MEP mechanical, electrical, and plumbing related to all building services. They provide various services, including concrete, metal work, fencing, lighting, insulation, roofing, waterproofing, electrical, plumbing, drywall, paint, tile, and remodeling. Thatch Engineering has provided excellent quality of work on all projects.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master interlocal cooperative agreements with various entities including TIPS.

The TIPS purchasing cooperatives have joined together government entities, in multiple states, to increase their buying power in acquiring products and services; lowering administrative procurement costs; and improving OVERALL business performance at each entity. Other benefits include: Centralized Vendor Listing; e-Commerce Store; Toll-Free Help Line; Competitively Bid Procurement Process and Vendor/Member Reporting Service.

The TIPS contract #211001 began January 18, 2022, and will expire January 31, 2027.

FINANCIAL CONSIDERATION:

Funds are available in various departments' budgets and will be charged accordingly through the end of the current fiscal year. Funding for future fiscal years will be paid from that year's approved budgets.



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: Terrence R. Harbin

PRESENTER: Megan Mahan, City Attorney

TITLE: Lease Extension between the Grand Prairie Local Government Corporation and Calvary Baptist Church of Grand Prairie located at 401 W Church St, Grand Prairie, TX 75050 until December 31, 2022

RECOMMENDED ACTION: Approval

ANALYSIS:

On January 15, 2021, the Grand Prairie Local Government Corporation entered a fifteen and a half month (15 ½) lease agreement with the tenant Calvary Baptist Church of Grand Prairie with a termination date of March 31, 2022. However, Calvary Baptist Church requested that the Grand Prairie Local Government Corporation extend the lease agreement. As a result, on December 14, 2021, the Grand Prairie Local Government Corporation approved a nine-month (9) lease extension to Calvary Baptist Church, ending on December 31, 2022, with an agreement that Calvary pays all utilities and maintains the property. Rent is one dollar (\$1) for the term.

FINANCIAL CONSIDERATION:

None.



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: SUP-22-09-0027 - Specific Use Permit/Site Plan - Restaurant with Drive-Through at 2380 W Camp Wisdom Road (City Council District 6). Specific Use Permit/Site Plan for a Restaurant with a Drive-Through on 1.28 acres. Lot 6, Block 1, Victory at Lakeridge Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-283, within the Lake Ridge Corridor Overlay District, and addressed as 2380 W Camp Wisdom Road (On February 14, 2022, the Planning and Zoning Commission tabled this item to February 28, 2022)

APPLICANT: Patrick Filson, Kirkman Engineering

RECOMMENDED ACTION: Table



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: STP-21-11-0022 - Site Plan - Parkside on Carrier (City Council District 3). Site Plan for a 38-unit age restricted multi-family development on 2.85 acres. Tract 60, Charles Gibbs Survey, Abstract No. 534, City of Grand Prairie, Dallas County, Texas, zoned General Retail and Multi-Family Two Districts, and addressed as 1217 S Carrier Parkway (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)

APPLICANT: Mike Ash, JES Holdings

RECOMMENDED ACTION: Approve

SUMMARY:

Site Plan for a 38-unit age restricted multi-family development on 2.85 acres. Tract 60, Charles Gibbs Survey, Abstract No. 534, City of Grand Prairie, Dallas County, Texas, zoned General Retail and Multi-Family Two Districts, and addressed as 1217 S Carrier Parkway.

PURPOSE OF REQUEST:

The applicant intends to construct an age-restricted multi-family development with 38 units in one building on 2.85 acres. Development at this location requires site plan approval by City Council because the property is for multi-family use.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	PD-101	Vacant; Mini-Storage
South	GR; MF-2	City Park
West	C	Carrier Parkway; Commercial
East	MF-2	Multi-Family Residential

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The 38-unit age-restricted multi-family development will be accessible from the S Carrier Parkway via one ingress/egress access located on the western portion of the property. The property has split zoning, with most of the property being MF-2, and the building is situated on the multi-family zoned portion of the property. A church exists on the property and will be demolished.

The Site Plan depicts one residential building with four stories and 38 units, a portico front entrance, and ample outdoor space. Other amenities include:

- A large and small dog park
- Community garden
- Gazebo
- Walking trails around the building
- Fitness and business facility

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The following table evaluates the proposal against the MF-2 district’s density and dimensional standards in the UDC. The project does not meet all required standards.

Table 2. Density and Dimensional Requirements

Standard	MF-2	Provided	Meets?
Max. Density (Units Per Acre)	18	13.33	Yes
Min. Living Area (Sq. Ft.)	600	600	Yes
Max % of One-Bedroom Units	60	32	Yes
% of Two-Bedroom Units	-----	68	-----
Min. Area (SF)	12,000	124,146	Yes
Min. Width (Ft.)	50	55	Yes
Min. Depth (Ft.)	100	1,097	Yes
Maximum Height (Ft.)	50	49.5	Yes
Min. Front Setback (Ft.)	30 (5 if fronts street)	30 (5 if fronts street)	Yes
Min. Rear Setback (Ft.)	45 + 1 for every ft. over 35	52	No
Min. Side Setback (Ft.)	45 + 1 for every ft. over 35	52	No

Parking

The applicant is using the parking standards for a retirement center to calculate the total required spaces. The proposal does not provide the required garage and carport parking. While the applicant is providing reduced parking with the traditional multi-family calculations, they are exceeding the retirement center calculations.

The following table evaluates the parking requirements.

Table 3. Parking Requirements

Standard	Required	Provided	Meets
1.25 Parking Spaces/One-Bedroom	15	6	-----
2 Parking Spaces/Two & Three Bedroom	52	26	-----
Retirement Center – One Bedroom – ½ space per bedroom	6	6	-----
Retirement Center – Two Bedroom - 1 space per bedroom	26	26	-----
Total Parking Spaces – MF Cal	67	65	No
Total Parking Spaces – RC*	32	65	Yes
Garages (% of Total)	30	0	No
Carport (% of Total)	20	0	No

*Retirement Community

Landscape and Screening

The property is subject to landscape and screening requirements in Appendix W and Article 8 of the UDC. The property provides internal open space. The applicant will be installing a Type II fence along the street right-of-way and the southern property line along the park. A Type III fence will be provided for the remainder of the site.

The applicant has provided a Tree Preservation and Mitigation Plan required by Article 8 of the UDC. The applicant is providing the needed mitigation for trees lost due to construction.

The development meets all landscaping requirements, and the table below depicts this.

Table 4. Landscape Requirements

Standard	Required	Provided	Meets
Landscape Area (SF)	18,623	72,511	Yes
Required Trees	38	38	Yes
Mitigation Trees	32	32	Yes
Trees (min. 3")	70	75	Yes
Total Shrubs (all gal.)	373	517	Yes
Dumpster Enclosure	Masonry enclosure	Masonry enclosure	Yes
Perimeter Fence	Type II & III	Type II & III	Yes

Exterior Building Materials

The exterior building materials include limestone, fiber cement lap siding, and stucco. The building elevations provide contrasting colors between materials, with primarily earth tones used, and feature vertical and horizontal articulation.

The building elevations meet the recommendations of Appendix W.

Project Amenities

Appendix W requires multi-family developments to provide amenities from three categories. If developers meet the exterior requirements of Appendix W, projects only need to meet two of three categories. Since the applicant is meeting the building elevation recommendations, the applicant must only provide two of three categories. The applicant is not providing all the required amenities from two of three categories.

- Environmentally friendly features
- High-quality features or designs

- Technology

The applicant is not proposing the app-enabled security features due to possible technology concerns for future residents.

The table below summarize the amenities included in the project.

Table 5. Appendix W Amenities

Category	Tier	Amenity
Environmentally Friendly Features	1	Permeable Paving
Environmentally Friendly Features	1	Electric car charge station
Environmentally Friendly Features	1	High-efficient Windows
Environmentally Friendly Features	2	Roofing Materials
Environmentally Friendly Features	2	Use of Recycled Materials
Environmentally Friendly Features	2	Recycling Program
Environmentally Friendly Features	2	Walking/Jogging Trails
Environmentally Friendly Features	3	Additional Insulation
Environmentally Friendly Features	3	LED Lighting
Environmentally Friendly Features	3	Bicycle Parking
Environmentally Friendly Features	3	Outdoor Spaces
Environmentally Friendly Features	3	Dog Parks
Technology	N/A	Wi-Fi Internet Access in Common Areas
Technology	N/A	USB ports
Technology	N/A	App - Communication

VARIANCES:

The applicant is requesting the following variances:

1. Rear and Interior Side Setback: Article 6 of the UDC requires a 45 ft foot + 1 foot for every foot over 35 feet in height setback for rear setback. The applicant is proposing 52 feet.

Staff does not oppose this request. Due to site constraints (floodplain), finding a buildable footprint is limited.

2. Portico setback from Building: Article 6 of the UDC requires that accessory structures be a minimum of 6 feet from the primary structure. Applicant is proposing 3 feet.
3. Parking: Appendix W requires that multi-family developments provide 30 percent of required parking in the form of garages and 20 percent in the form of carports. The applicant is providing zero percent garages and carports.
4. No Secondary Emergency Access: Appendix W requires that multi-family developments provide secondary emergency access point.

Staff does not oppose this request. The Fire Department does not have any concerns with this as the proposal meets fire code requirements.

5. Appendix W Checklist: Appendix W requires that multi-family developments provide a certain amount of amenity items. The applicant is not providing “App-enabled functionality for door locks, lighting, thermostat, appliances, or other electronics” under the technology list. Staff does not oppose this request. The applicant has stated that providing this type of technology might impose difficulty on residents who are not technology savvy and providing standards locks and features would be preferable.

RECOMMENDATION:

- On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0.
- The Development Review Committee recommends approval.

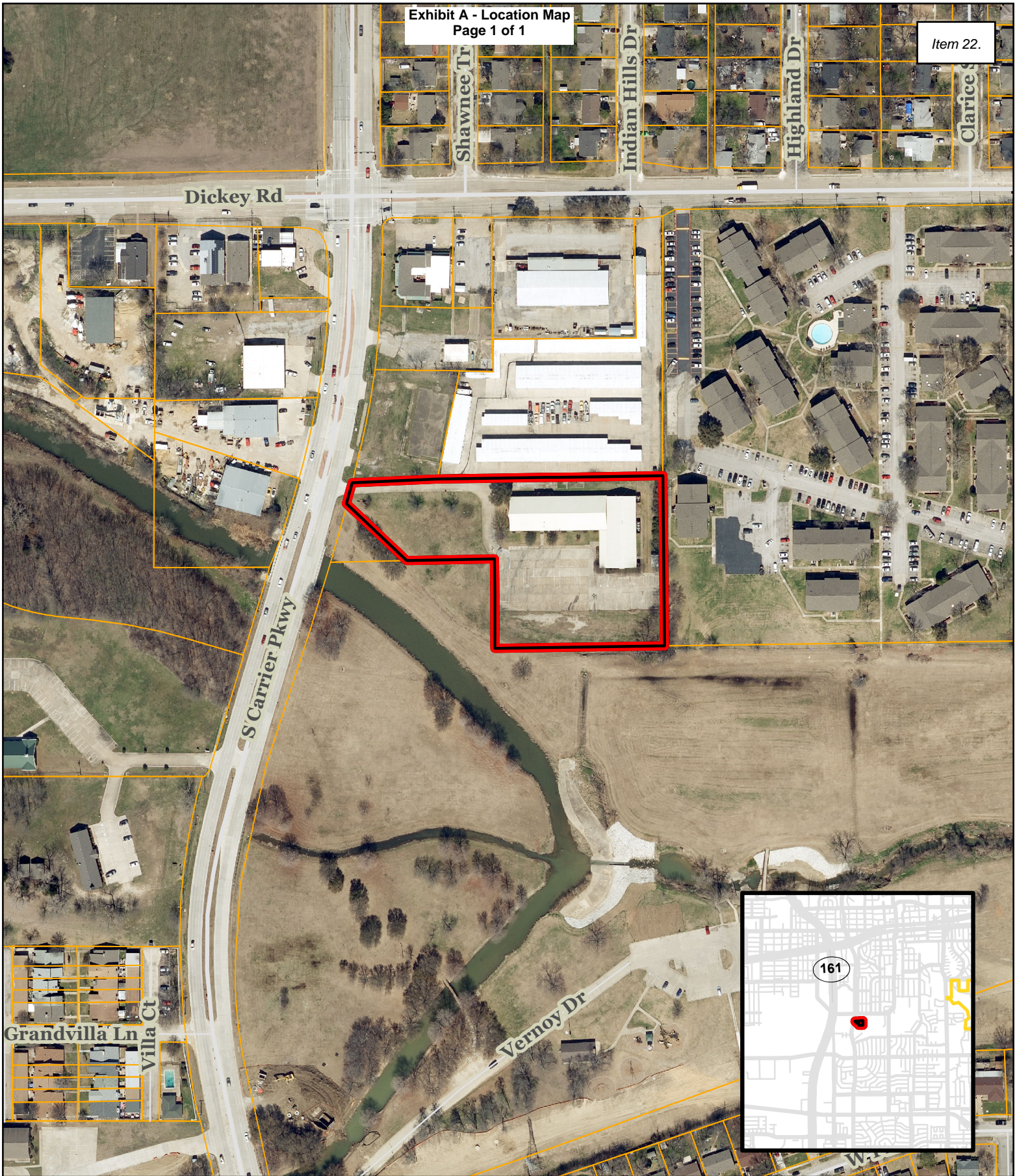


Exhibit B - Site Plan
Page 1 of 1

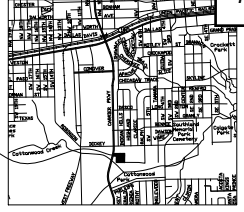
Item 22.

CIVIL SITE PLAN

1217 S. CARRIER PARKWAY
GRAND PRAIRIE, TX

DATE: 06.06.2022
DESIGNER: D.L. 06.06.2022
CHECKED: M.S. 06.06.2022
CIVIL BY: M.S.

Salcedo Group, Incorporated
Civil Engineers - Surveyors
401 Grand Prairie Street - Grand Prairie, Texas 75050
Phone: (214) 412-3122, Fax: (214) 412-3089 www.salcedogroupinc.com



PROJECT LOCATION

Site Data Table

Site Acreage	2.85 Acres
Land Use	Multi Family
Residential Density	13.33 Units/Acre
Residential Unit Mix	
1 Bedroom	12 Units (32%)
2 Bedroom	26 Units (68%)
Total Units	38 Total Units
% of Site Landscaping	57.67%
Area Within 100-Yr Floodplain	1.80 Acres
Total Building Area	10,520 Sq.Ft.
Impervious Cover	40,168 Sq.Ft.
Impact Zone	South
Building Height	49' - 4 3/4"
Front Setback	20 Feet
Side Setback	25 Feet
GR Zoning	MF-2
MS Zoning	S2
Rear Setback	52 Feet

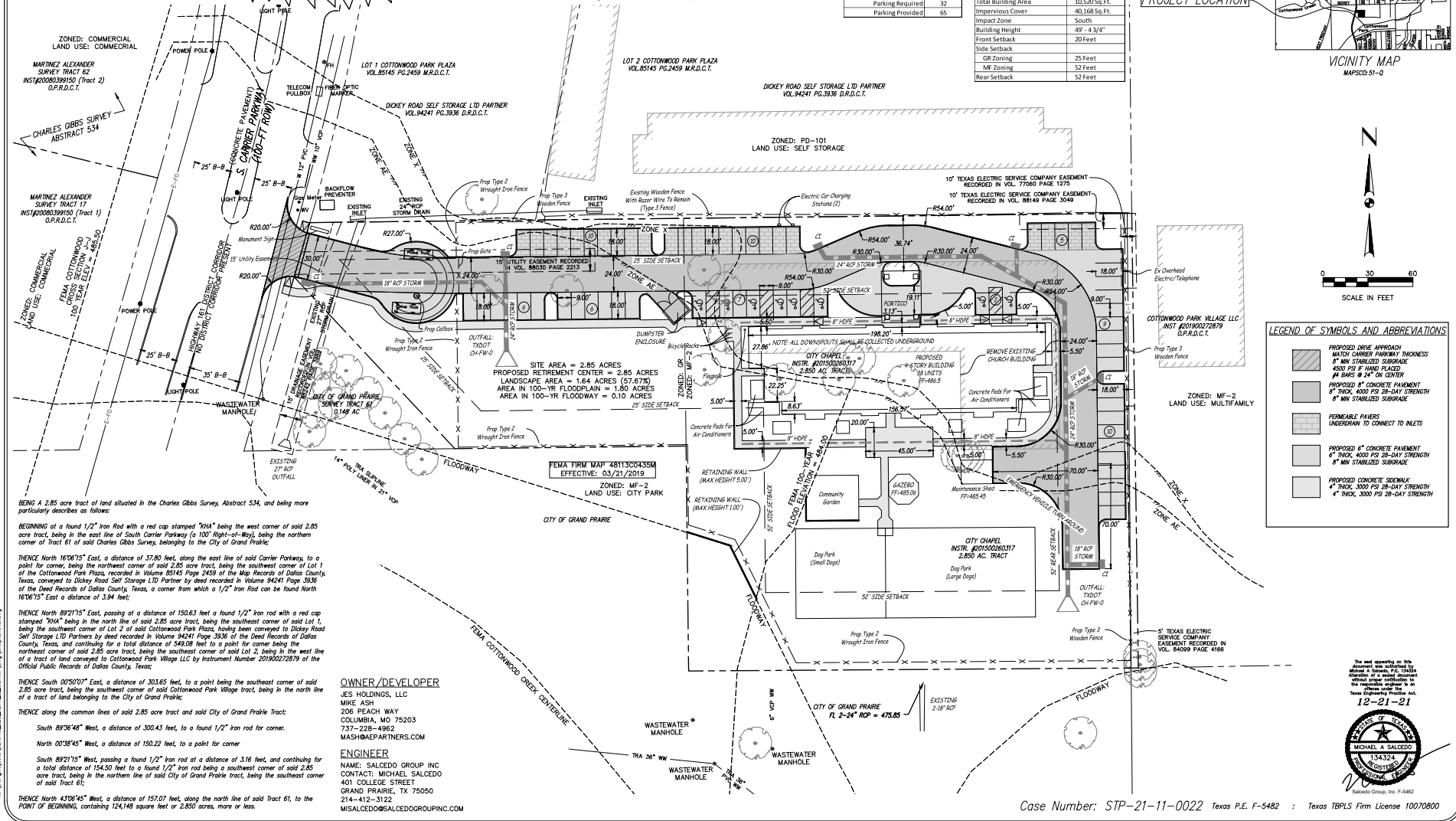
Retirement Center Parking Table

1/2 Space per 1 bedroom unit		
1 space per 24 bedroom unit		
No. Bedroom	# Units	Parking Req.
1 Bedroom Units	12	6
2 Bedroom Units	26	26
Parking Required		32
Parking Provided		65

CAUTION!!
UNDERGROUND AND OVERHEAD UTILITIES IN AREA
CONTACT DIGESTS 1-800-DIGESTS (1-800-344-8377)
FOR GAS, TELEPHONE, ELECTRIC AND OTHER RELEVANT AUTHORITIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

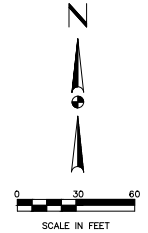
NOTE:
CONTRACTOR SHALL VERIFY LOCATION OF EXISTING WATER AND WASTEWATER SERVICE LINES PRIOR TO EXCAVATION. CONTRACTOR SHALL RECONNECT EXISTING WATER AND WASTEWATER SERVICE LINES AS NECESSARY.

CAUTION!!
CONTRACTOR IS TO VERIFY PRECISE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. TEXAS811.ORG



LEGEND OF SYMBOLS AND ABBREVIATIONS

- PROPOSED DRIVE APPROACH MATCH CARRIER PARKWAY THICKNESS
- 6" MIN STABILIZED SUBGRADE
- 4000 PSI 6" HAND PLACED #4 BARS @ 24" ON CENTER
- PROPOSED 6" CONCRETE PAVEMENT 6" THICK, 4000 PSI 28-DAY STRENGTH 8" MIN STABILIZED SUBGRADE
- FORMABLE PANELS UNDERGRAD TO CONNECT TO ALLEYS
- PROPOSED 6" CONCRETE PAVEMENT 6" THICK, 4000 PSI 28-DAY STRENGTH 8" MIN STABILIZED SUBGRADE
- PROPOSED CONCRETE SIDEWALK 4" THICK, 3000 PSI 28-DAY STRENGTH 4" THICK, 3000 PSI 28-DAY STRENGTH



BEING A 2.85 acre tract of land situated in the Charles Gibbs Survey, Abstract 534, and being more particularly describes as follows:

BEGINNING at a found 1/2" iron rod with a red cap stamped "101A" being the west corner of said 2.85 acre tract, being in the east line of said Carrier Parkway to 100' right-of-way, being the northern corner of Tract 61 of said Charles Gibbs Survey, belonging to the City of Grand Prairie;

THENCE North 167°15' East, a distance of 37.80 feet, along the east line of said Carrier Parkway, to a point for corner, being the northwest corner of said 2.85 acre tract, being the southwest corner of Lot 1 of the Cottonwood Park Plaza, recorded in Volume 85145 Page 2459 of the Map Records of Dallas County, Texas, conveyed to Dickey Road Self Storage LTD Partner by deed recorded in Volume 94241 Page 3936 of the Deed Records of Dallas County, Texas, a corner from which a 1/2" iron rod can be found North 167°15' East a distance of 3.94 feet;

THENCE North 89°21'15" East, passing at a distance of 150.63 feet a found 1/2" iron rod with a red cap stamped "101A" being in the north line of said 2.85 acre tract, being the southeast corner of said Lot 1, being the southwest corner of Lot 2 of said Cottonwood Park Plaza, having been conveyed to Dickey Road Self Storage LTD Partners by deed recorded in Volume 94241 Page 3936 of the Deed Records of Dallas County, Texas, and continuing for a total distance of 548.08 feet to a point for corner being the northeast corner of said 2.85 acre tract, being the southeast corner of said Lot 2, being in the west line of a tract of land conveyed to Cottonwood Park Village LLC by instrument Number 20190027279 of the Official Public Records of Dallas County, Texas;

THENCE South 00°50'07" East, a distance of 301.65 feet, to a point being the southeast corner of said 2.85 acre tract, being the southwest corner of said Cottonwood Park Village tract, being in the north line of a tract of land belonging to the City of Grand Prairie;

THENCE along the common lines of said 2.85 acre tract and said City of Grand Prairie Tract:

South 89°36'46" West, a distance of 300.43 feet, to a found 1/2" iron rod for corner.

North 00°38'45" West, a distance of 150.22 feet, to a point for corner.

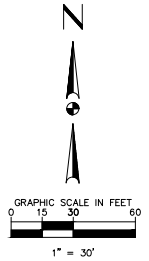
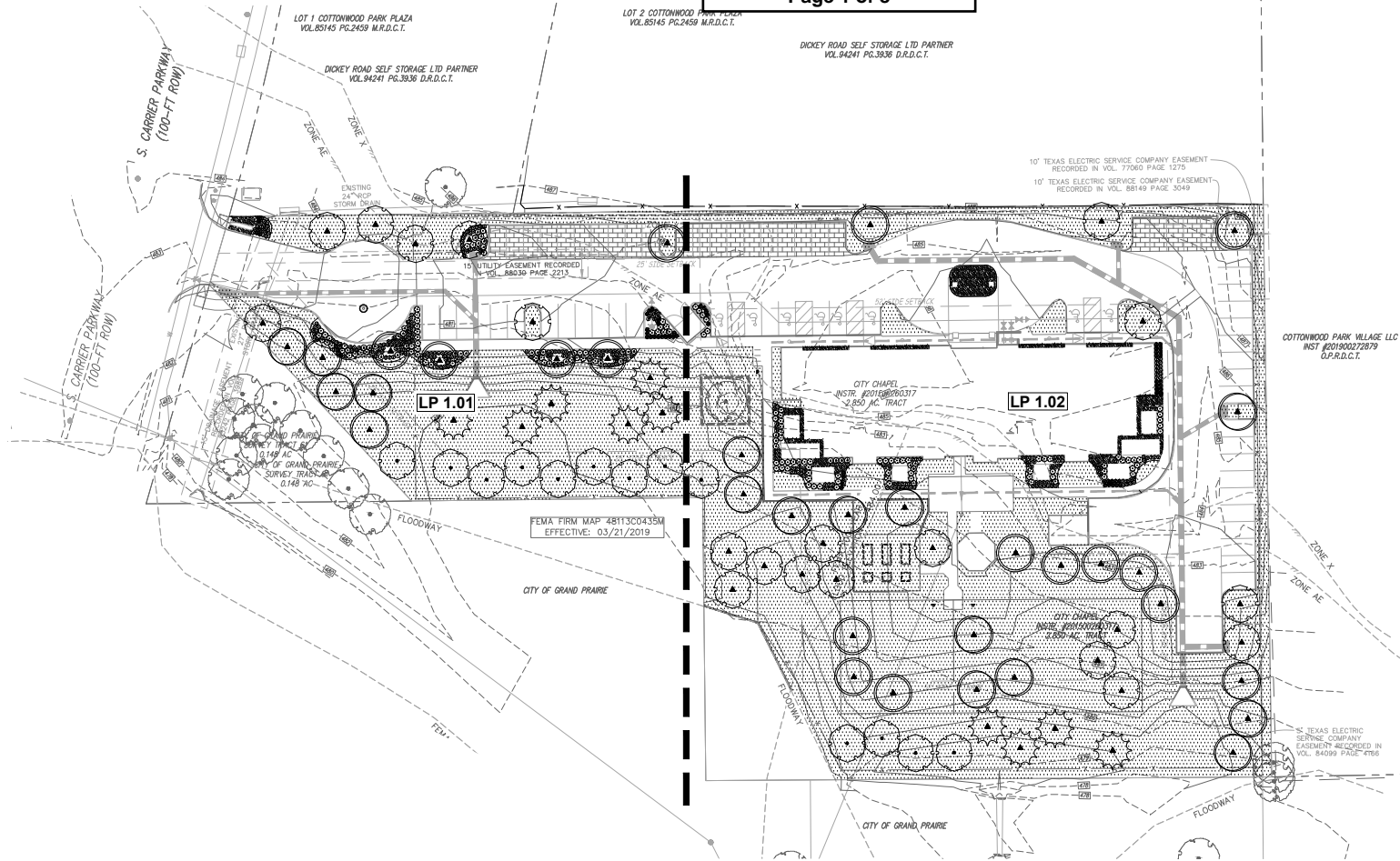
South 89°21'15" West, passing a found 1/2" iron rod at a distance of 3.16 feet, and continuing for a total distance of 1,543.02 feet to a found 1/2" iron rod being a southwest corner of said 2.85 acre tract, being in the northern line of said City of Grand Prairie tract, being the southeast corner of said tract 61;

THENCE North 43°06'45" West, a distance of 157.07 feet, along the north line of said tract 61, to the POINT OF BEGINNING, containing 124,148 square feet or 2.8504 acres, more or less.

OWNER/DEVELOPER
IES HOLDINGS, LLC
MIKE ASH
206 PEACH WAY
COLUMBIA, MO 75203
737-228-4962
MASH@IEPARTNERS.COM

ENGINEER
NAME: SALCEDO GROUP INC
CONTACT: MICHAEL SALCEDO
401 COLLEGE STREET
GRAND PRAIRIE, TX 75050
214-412-3122
MISALCEDO@SALCEDOGROUPINC.COM

Exhibit C - Landscape Plan
Page 1 of 8



Case Number: STP-21-11-0022

OWNER/DEVELOPER
JES HOLDINGS, LLC
MIKE ASH
206 PEACH WAY
COLUMBIA, MO 75203
737-228-4962
MASH@AEPARTNERS.COM

Kimley-Horn
801 CHERRY ST. UNIT 11, STE 1300
FORT WORTH, TX 76102
PHONE: 817-335-6511



Salcedo Group, Incorporated
Civil Engineers - Surveyors
401 College Street - Grand Prairie, Texas 75050
Phone: (214) 412-3122, Fax: (214) 941-2311, www.salcedogroupinc.com
Texas P.E. # 5482 ; Texas I&BS Firm License 10070800



3	▲		
2	▲		
1	▲		
No.	Description	Date	

Revisions	
OVERALL PLANTING PLAN	
PARKSIDE ON CARRIER	
1217 S. CARRIER PARKWAY	
CITY OF GRAND PRAIRIE, TEXAS	

Grand Prairie
TEXAS
ENGINEERING

DESIGN	DRAWN	CHECK	DATE	SCALE	NOTES
CJC	CJC	KLP	02/09/22	AS SHOWN	

NOTE: CONTRACTOR SHALL VERIFY LOCATION OF EXISTING WATER AND WASTEWATER SERVICE LINES PRIOR TO EXCAVATION. CONTRACTOR SHALL RECONNECT EXISTING WATER AND WASTEWATER SERVICE LINES AS NECESSARY.

CONTRACTOR SHALL VERIFY THE ELEVATIONS OF EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF DISCREPANCIES, PRIOR TO CONSTRUCTION.

CAUTION!!
CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. TEXAS811.ORG

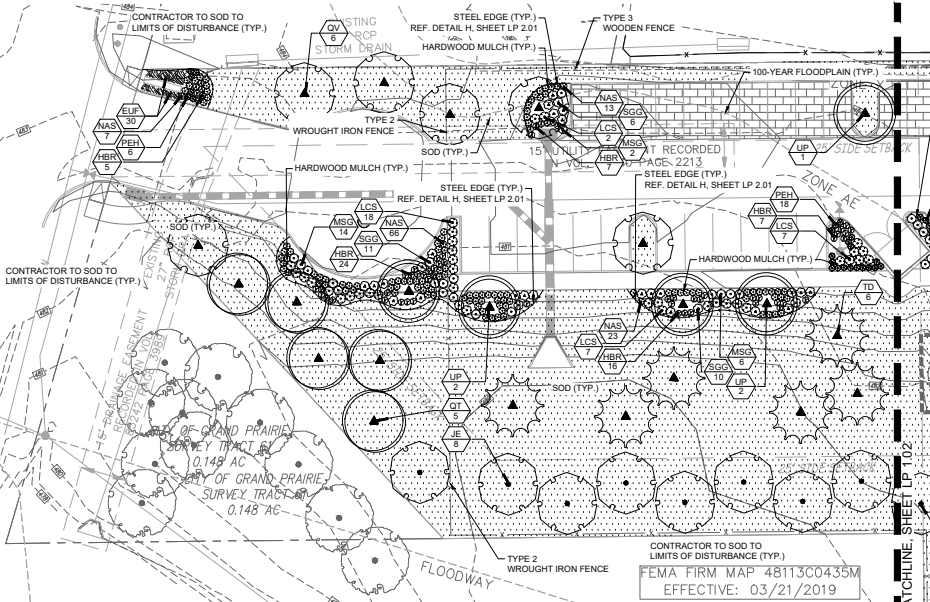
811 Know what's below. Call before you dig.

02/09/22 11:53 AM C:\Users\jash\Desktop\1217 S. CARRIER PARKWAY\1217 S. CARRIER PARKWAY.dwg (P) Permit-Cook\Sheet\UP - PLANTING PLAN.dwg

Exhibit C - Landscape Plan
Page 2 of 8

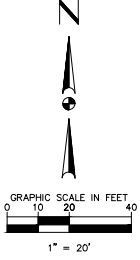
7/2 ALEXANDER
Y TRACT 17
1399150 (Tract 1)
R.D.C.T.

FEMA COTTONWOOD
CROSS SECTION J-J
100 YEAR ELEV = 485.50



PLANT LEGEND

TREES	CODE	CITY	COMMON NAME
	JE	13	Eastern Red Cedar
	QT	17	Texas Red Oak
	QV	20	Southern Live Oak
	TD	10	Bald Cypress
	LP	15	Laosabak Elm
	HER	128	Bralighs Red Yucca
	LCS	66	Compact Texas Sage
	SOG	37	Cherry Sage
	MSG	60	Adagio Eulalia Grass
	NAS	166	Mexican Feather Grass
	PEH	60	Hamelin Dwarf Fourtain Grass
GRASSES	CODE	CITY	COMMON NAME
	MSG	60	Adagio Eulalia Grass
	NAS	166	Mexican Feather Grass
	PEH	60	Hamelin Dwarf Fourtain Grass
GRASSING COVERS	CODE	CITY	COMMON NAME
	SOD	62.568 sf	Common Bermuda Grass
	EUF	470	Purple-leaf Winter Creeper
	SE	TBD	STEEL EDGING
	MULCH	TBD	SHREDED HARDWOOD MULCH



REFER TO SHEET LP 1.02 FOR FULL PLANT SCHEDULE.

GRAND PRAIRIE UNIFIED DEVELOPMENT CODE		
Article 8	REQUIRED	PROVIDED
8.5.2 Landscaping Required By Zoning Districts		
Multi-Family (MF-2) sites shall provide landscape areas that are 15% of total site plan 124,148 x 0.15 = 18,623 SF Required Landscape Area	18,623 SF Landscape Area	72,511 SF Landscape Area
8.3.1 Applicability		
8.3.1.2. Non-Residential Landscaping		
A minimum of 75% of all required landscape areas shall be located in the front yard between the building line and the front property line 18,623 x 0.75 = 13,968 SF Front Yard Landscape	13,968 SF Front Yard Landscape Area	30,076 SF Front Yard Landscape Area
8.7.2 Planting Materials		
8.4.1.19 Trees		
All new trees required to meet the landscaping requirement shall be a minimum 3" caliper. For every 500 square feet of required landscape area, or fraction thereof, of required landscape area, 1 tree of 3" caliper or larger is required. 18,623 SF / 500 SF = 38 Total Trees Trees shall be located on site in the following sequence: Street trees shall be planted a minimum of 25 linear feet apart and a maximum of 50 linear feet apart along collectors and arterials. 38 LF Street Frontage / 50 = 1 Street Tree Parking lot trees shall be located in the parking area (one tree for each 20 parking spaces) 65 Parking Spaces / 20 = 4 Parking Trees The remaining required trees may be located throughout the site.	38 Total Trees	38 Total Trees
1 Street Tree	1 Street Tree	
4 Parking Trees	4 Parking Trees	
YES	YES	
8.7.3 Tree Credits	REQUIRED	PROVIDED
D. Shrubs		
Shrubs shall be a minimum 5-gallon container size. For every 50 square feet, or fraction thereof, of required landscape area, 1 shrub a minimum of 5 gallons in size is required. 18,623 SF / 50 SF = 373 Shrubs	373 Shrubs	517 Shrubs
D.1. In addition to required trees and shrubs, all of the required landscape area must be covered with grass, organic mulch, or live groundcover (up to 40% of landscape area).	YES	YES

8.9.2 Adjacent Public Right-of-Way		
8.9.2.4 Parking Areas		
A. One tree shall be provided for each 20 parking spaces in all non-residential developments; however, no car parking space shall be located greater than 100 feet from the center of a tree. Trees shall be 3" caliper minimum and planted within a planting island with a minimum dimension of five feet in width. The tree-planting island must be further planted with a ground cover, grass, or shrubs, and may be counted toward the total required square footage of required landscaping.	YES	YES
B. Parking areas shall be screened along all streets by a minimum three-foot high solid shrub hedges when mature, berm, fence, or combination of these.	YES	YES
8.16.6 Tree Protection Requirements - Mitigation		
8.16.6.C Mitigation Plan		
A. The removal of any Protected Tree, except trees in Rights-of-Way, easements, or pad sites authorized for removal under a tree protection plan, shall be fully mitigated in accordance with one or more of the following methods. The applicant may elect among options one through three, or a combination of such options. Tree Preservation Administrator approval is required for option four. The mitigation plan shall include a detailed description of the methods proposed for mitigating removal of Protected Trees.	YES	YES
Method 2: Planting new trees at approved locations that replace Protected Trees to be removed with equivalent Caliper Inches. 96 Caliper Inches Removed / 3 = 32 Trees	32 Mitigation Trees	32 Mitigation Trees

NOTE:
CONTRACTOR SHALL VERIFY LOCATION OF EXISTING WATER AND WASTEWATER SERVICE LINES PRIOR TO EXCAVATION. CONTRACTOR SHALL RECONNECT EXISTING WATER AND WASTEWATER SERVICE LINES AS NECESSARY.

CONTRACTOR SHALL VERIFY THE ELEVATIONS OF EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF DISCREPANCIES, PRIOR TO CONSTRUCTION.



OWNER/DEVELOPER
JES HOLDINGS, LLC
MIKE ASH
206 PEACH WAY
COLUMBIA, MO 75203
737-228-4962
MASH@AEPARTNERS.COM



No.	Description	Date
3		
2		
1		

Revisions

PLANTING PLAN

PARKSIDE ON CARRIER

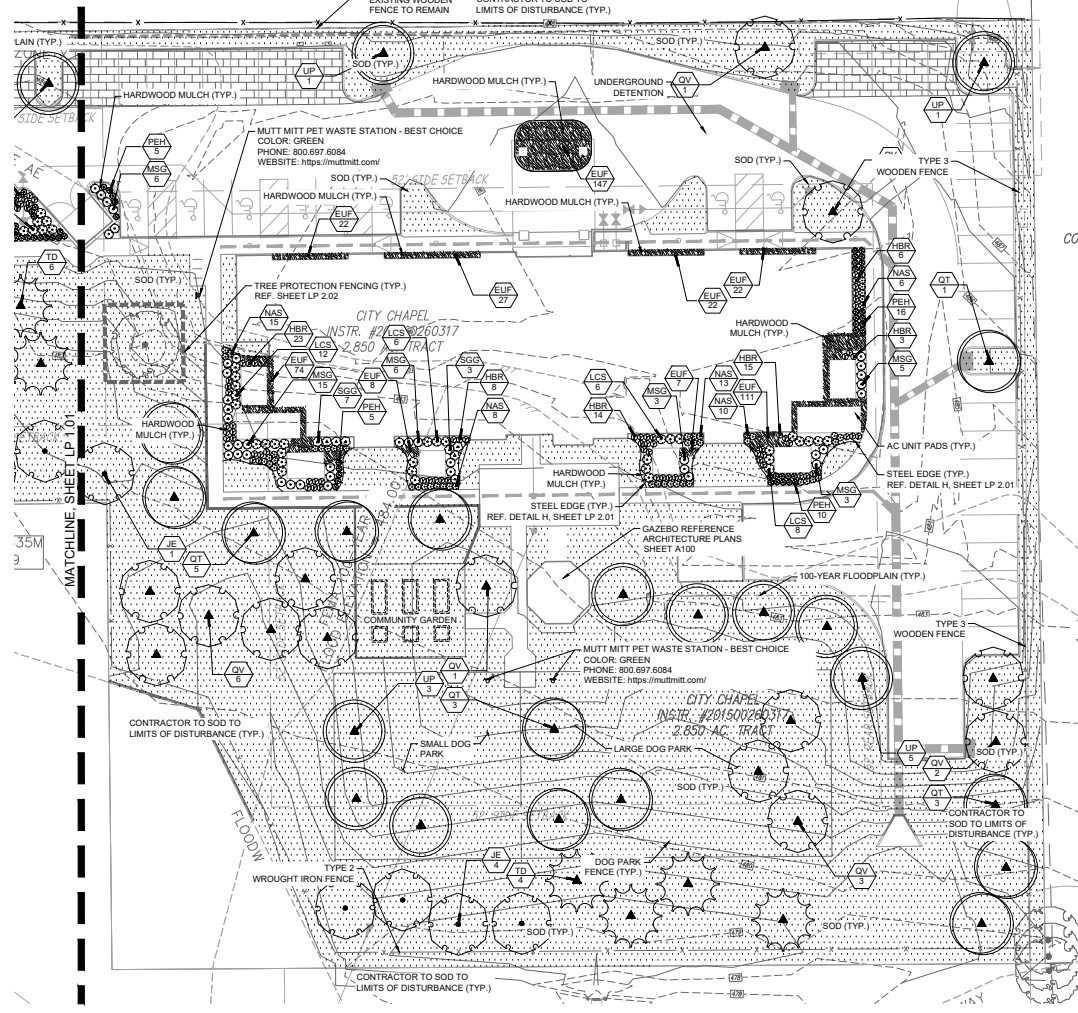
1217 S. CARRIER PARKWAY

CITY OF GRAND PRAIRIE, TEXAS



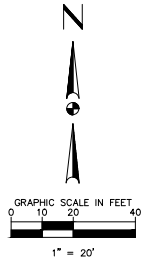
DESIGN	DRAWN	CHECK	DATE	SCALE	NOTES
CJC	CJC	KLP	02/09/22	AS SHOWN	

10' TEXAS ELECTRIC SERVICE
RECORDED IN VOL. 88149 PAGE 3049



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	JE	13	Juniperus virginiana / Eastern Red Cedar	3" cal, 10'-12" H, 4" spr	Full, Straight, Single Leader
	QT	17	Quercus texana / Texas Red Oak	3" cal, 16" H, 6" spr	Full, Straight, Single Leader
	QV	20	Quercus virginiana / Southern Live Oak	3" cal, 16" H, 6" spr	Full, Straight, Single Leader
	TD	10	Taxodium distichum / Bald Cypress	3" cal, 14" H, 5" spr	Full, Straight, Single Leader
	UP	15	Ulmus parvifolia / Lacebark Elm	3" cal, 14" H, 6" spr	Full, Straight, Single Leader
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	HBR	128	Hesperaloe parviflora 'Brakeights' TM / Brakeights Red Yucca	18" H, 18" spr, 24" oc	FULL & MATCHING.
	LCS	66	Leucophyllum frutescens 'Compact' / Compact Texas Sage	24" H, 24" spr, 36" oc	Full & Matching
	SGG	37	Salvia greggii / Cherry Sage	24" H, 24" spr, 36" oc	Full & Matching
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	MSG	60	Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass	24" H, 36" oc	FULL & MATCHING.
	NAS	166	Nassella tenuissima / Mexican Feather Grass	18" H, 24" oc	FULL & MATCHING.
	PEH	60	Pennisetum alopecuroides 'Hamel' / Hameln Dwarf Fountain Grass	12" H, 24" oc	FULL & MATCHING.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
	SOD	62,568 sf	Cynodon dactylon / Common Bermuda Grass	N/A	Sod to be light, sand filled joints and be free of weeds.
	EUP	470	Eucalyptus fortunei 'Colorado' / Purple-leaf Winter Creeper	8" H, 8" spr, 12" oc	Full
	SE	TBD	Steel edging	3/16" X 4" black	
	MULCH	TBD	Shredded hardwood mulch	3" depth, all trees within sod have 4" diameter mulch ring	



Case Number: STP-21-11-0022

OWNER/DEVELOPER
JES HOLDINGS, LLC
MIKE ASH
206 PEACH WAY
COLUMBIA, MO 75203
737-228-4962
MASH@AEPARTNERS.COM

Kimley-Horn
801 CHERRY ST. UNIT 11, STE 1300
FORT WORTH, TX 76102
PHONE: 817-335-6511



Salcedo Group, Incorporated
Civil Engineers - Surveyors
401 College Street - Grand Prairie, Texas 75050
Phone: (214) 412-3122, Fax: (214) 941-2331
www.salcedogroupinc.com
Texas P.E. # 5482 ; Texas I&LS Firm License 10070800



3			
2			
1			
No.	Description	Date	

Revisions

PLANTING PLAN

PARKSIDE ON CARRIER

1217 S. CARRIER PARKWAY

CITY OF GRAND PRAIRIE, TEXAS

Grand Prairie TEXAS ENGINEERING					
DESIGN	DRAWN	CHECK	DATE	SCALE	NOTES
CJC	CJC	KLP	02/09/22	AS SHOWN	

90

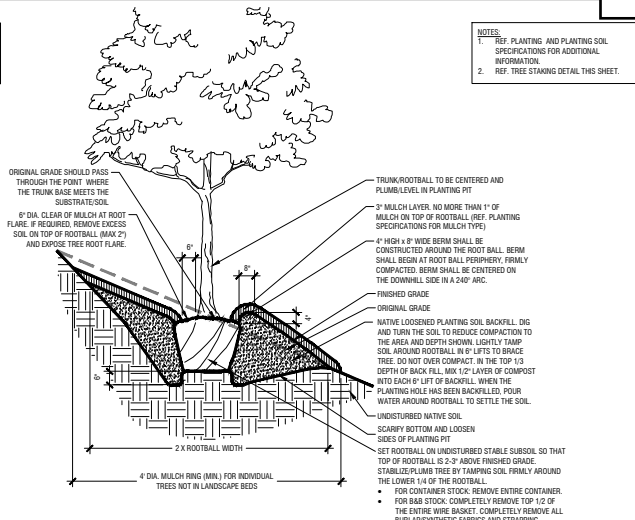
NOTE: CONTRACTOR SHALL VERIFY LOCATION OF EXISTING WATER AND WASTEWATER SERVICE LINES PRIOR TO EXCAVATION. CONTRACTOR SHALL RECONNECT EXISTING WATER AND WASTEWATER SERVICE LINES AS NECESSARY.

NOTE: CONTRACTOR SHALL VERIFY THE ELEVATIONS OF EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF DISCREPANCIES, PRIOR TO CONSTRUCTION.



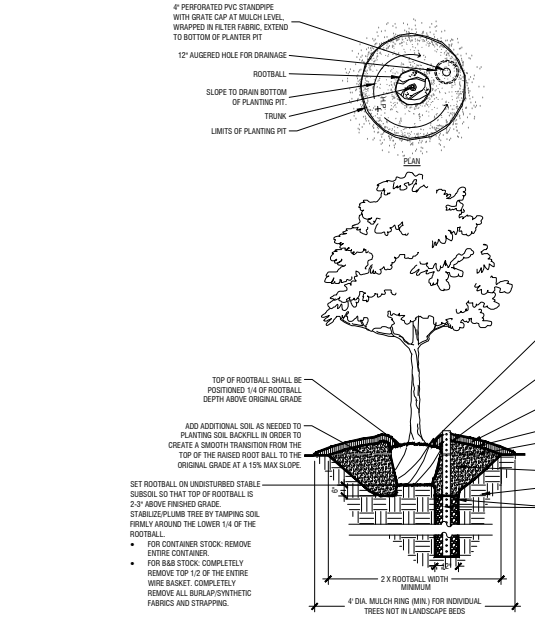
02/09/22 11:52 AM C:\Users\jash\OneDrive\Desktop\1217 S. Carrier\1217 S. Carrier.dwg - Grand Prairie, TX\DWG\01 Permit-Cook\Sheet\UP - PLANTING PLAN.dwg
 PLOT DATE: 02/09/22 11:52 AM PLOT BY: JASH

NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. REF. TREE STAKING DETAIL THIS SHEET.



Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)

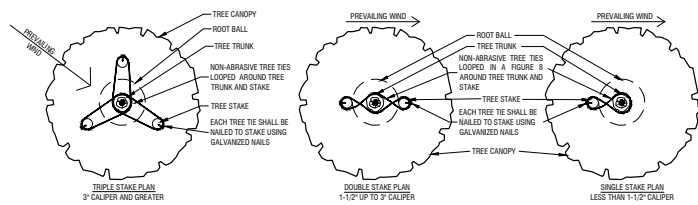
Scale: NTS



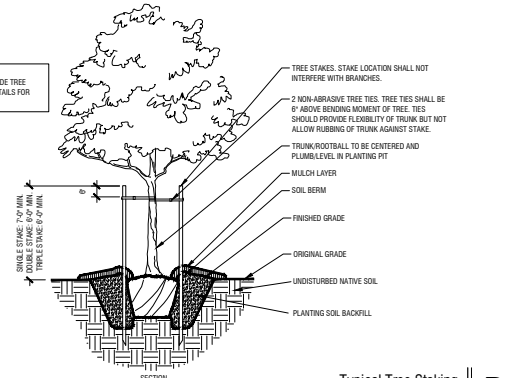
Tree Planting (Poor Drainage Condition)

Scale: NTS

NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. REF. TREE STAKING DETAIL THIS SHEET.

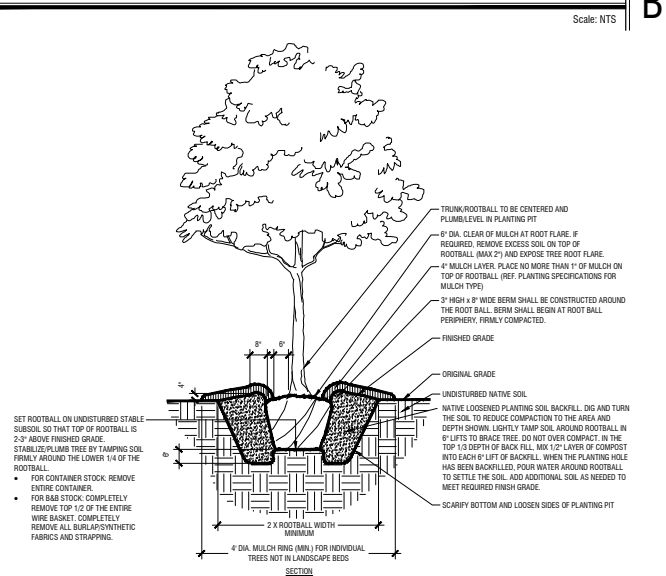


NOTES:
1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



Typical Tree Staking

Scale: NTS



Typical Tree Planting (Up to 3\"/>

Scale: NTS

No.	Description	Date
3		
2		
1		

Revisions	
PLANTING DETAILS	
PARKSIDE ON CARRIER	
1217 S. CARRIER PARKWAY	
CITY OF GRAND PRAIRIE, TEXAS	

Grand Prairie	
TEXAS	
ENGINEERING	
DESIGN	CJC
DRAWN	CJC
CHECK	KLP
DATE	02/09/22
SCALE	AS SHOWN
NOTES	

Salcedo Group, Incorporated
Civil Engineers - Surveyors
401 College Street - Grand Prairie, Texas 75050
Phone: (214) 412-3122, Fax: (214) 941-2331
www.salcedogroupinc.com
Texas P.E. #5482 ; Texas I&LS Firm License 10070800

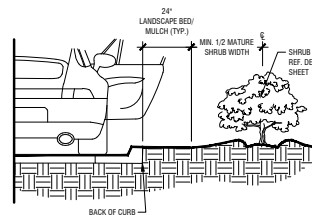
OWNER/DEVELOPER
JES HOLDINGS, LLC
MIKE ASH
206 PEACH WAY
COLUMBIA, MO 75203
737-228-4962
MASH@EAPARTNERS.COM

Kimley-Horn
801 CHERYL ST, UNIT 11, STE 1300
FORT WORTH, TX 76102
PHONE: 817-335-6511

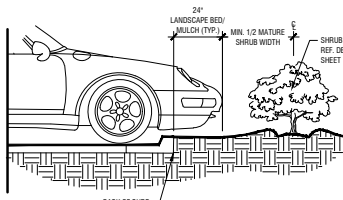


Exhibit C - Landscape Plan Page 5 of 8

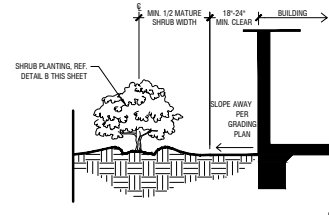
- NOTES:**
- REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING LAYOUT.
 - WHEN SHRUBS ARE MASSES TOGETHER WITH GROUNDCOVER BED, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



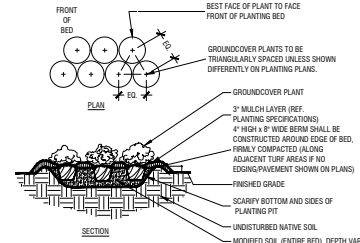
Shrub Planting at Curb
Scale: NTS



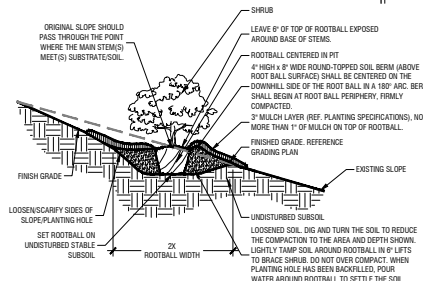
Shrub Planting at Curb
Scale: NTS



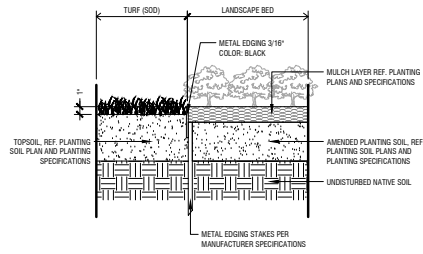
Shrub Planting at Building Edge
Scale: NTS



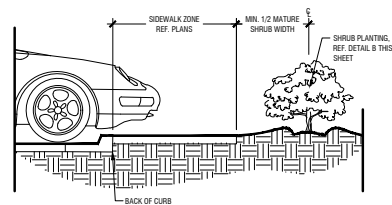
Typical Shrub Planting
Scale: NTS



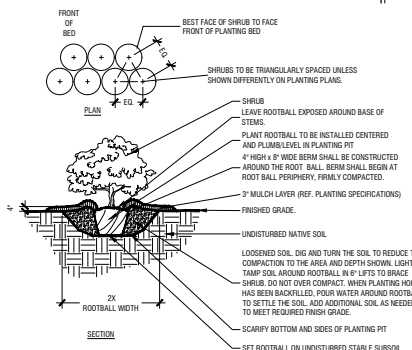
Shrub Planting On 5-50% (20:1 To 2:1) Slope
Scale: NTS



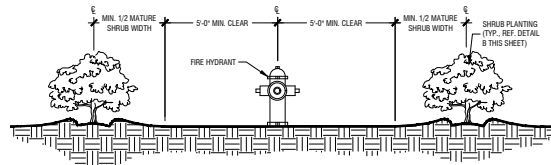
METAL EDGING (AT TURF & LANDSCAPE BED)
Scale: 1 1/2\"/>



Shrub Planting at Sidewalk
Scale: NTS



Typical Shrub Planting
Scale: NTS



Shrub Planting at Fire Hydrant
Scale: NTS

Kimley-Horn
801 CHERRY ST., UNIT 11, STE 1300
FORT WORTH, TX 76102
PHONE: 817-335-6511

02/09/22

SGI
SALCEDO GROUP, INCORPORATED
Civil Engineers - Surveyors

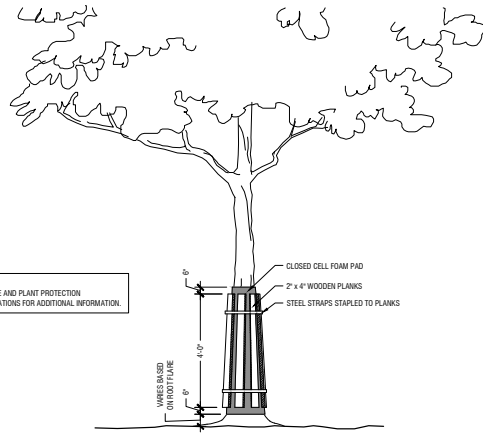
No.	Description	Date

Revisions	
PLANTING DETAILS	
PARKSIDE ON CARRIER	
1217 S. CARRIER PARKWAY	
CITY OF GRAND PRAIRIE, TEXAS	

Grand Prairie
TEXAS
ENGINEERING

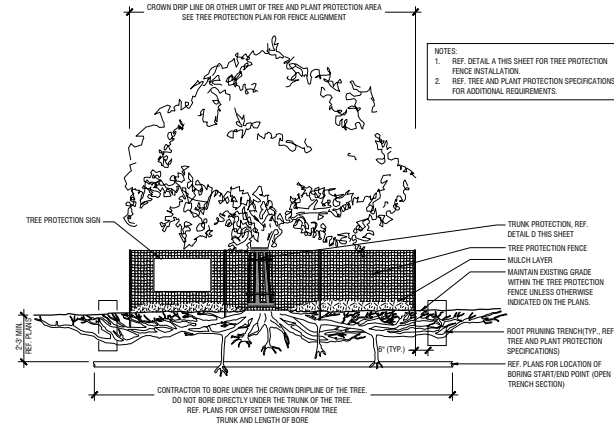
DESIGN	DRAWN	CHECK	DATE	SCALE	NOTES
CJC	CJC	KLP	02/09/22	AS SHOWN	

PROJECT: 1217 S. CARRIER PARKWAY, GRAND PRAIRIE, TEXAS
 DATE: 02/09/22
 DRAWN BY: CJC
 CHECKED BY: KLP
 SCALE: AS SHOWN
 SHEET NO.: 92 OF 92



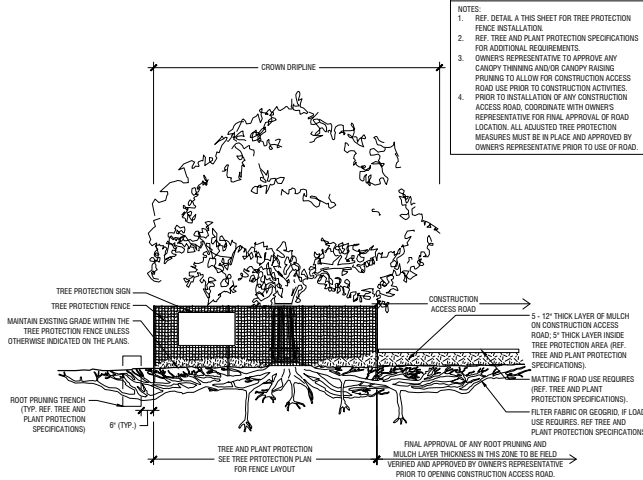
TRUNK PROTECTION

Scale: NTS



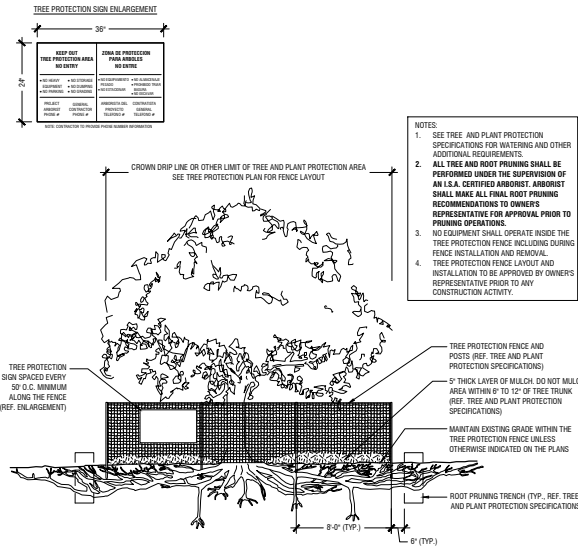
TREE PROTECTION - UTILITY BORING UNDER CROWN DRIP LINE

Scale: NTS



TREE PROTECTION - CONSTRUCTION ACCESS ROAD

Scale: NTS



TYPICAL TREE PROTECTION FENCING

Scale: NTS

OWNER/DEVELOPER
JES HOLDINGS, LLC
MIKE ASH
206 PEACH WAY
COLUMBIA, MO 75203
737-228-4962
MASH@AEPARTNERS.COM

Kimley-Horn

401 College Street - Grand Prairie, Texas 75050
Phone: (214) 412-3122, Fax: (214) 941-2331
www.kimley-horn.com



Salcedo Group, Incorporated
Civil Engineers - Surveyors
401 College Street - Grand Prairie, Texas 75050
Phone: (214) 412-3122, Fax: (214) 941-2331
www.salcedogroupinc.com
Texas P.E. # 5482

No.	Description	Date
3		
2		
1		
0		

Revisions

TREE PRESERVATION DETAILS

PARKSIDE ON CARRIER

1217 S. CARRIER PARKWAY

CITY OF GRAND PRAIRIE, TEXAS

Grand Prairie
TEXAS
ENGINEERING

DESIGN	DRAWN	CHECK	DATE	SCALE	NOTES
CJC	CJC	KLP	02/09/22	AS SHOWN	

Exhibit C - Landscape Plan
Page 8 of 8

Item 22.

TREE SURVEY

1217 S. CARRIER PKWY.
GRAND PRAIRIE, TX

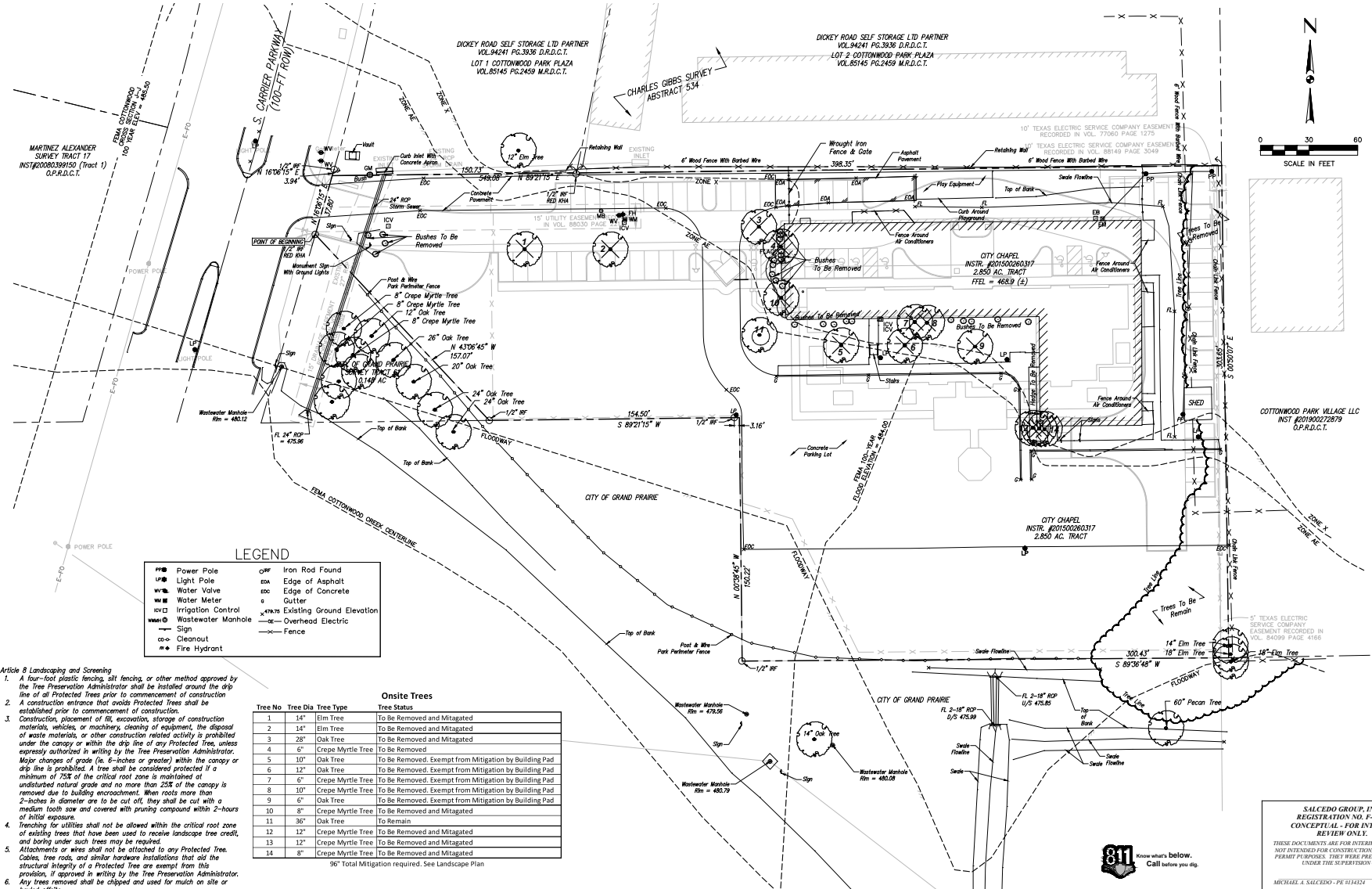
DATE: 08/26/2025
DRAWN BY: JAS
CHECKED BY: MAS

Salcedo Group, Incorporated
Civil Engineers & Surveyors



401 Colony Street
Grand Prairie, Texas 75050
Phone: (214) 712-1122, Fax: (214) 712-2889 www.salcedogroup.com

SGI Project No. 21945



LEGEND

● Power Pole	○ Iron Rod Found
○ Light Pole	— Edge of Asphalt
○ Water Valve	— Edge of Concrete
○ Water Meter	○ Gutter
□ Irrigation Control	○ Existing Ground Elevation
○ Wastewater Manhole	— Overhead Electric
— Sign	— Fence
○ Cleanout	
● Fire Hydrant	

Onsite Trees

Tree No	Tree Dia	Tree Type	Tree Status
1	14"	Elm Tree	To Be Removed and Mitigated
2	14"	Elm Tree	To Be Removed and Mitigated
3	28"	Oak Tree	To Be Removed and Mitigated
4	5"	Crepe Myrtle Tree	To Be Removed
5	10"	Oak Tree	To Be Removed. Exempt from Mitigation by Building Pad
6	12"	Oak Tree	To Be Removed. Exempt from Mitigation by Building Pad
7	6"	Crepe Myrtle Tree	To Be Removed. Exempt from Mitigation by Building Pad
8	10"	Crepe Myrtle Tree	To Be Removed. Exempt from Mitigation by Building Pad
9	6"	Oak Tree	To Be Removed. Exempt from Mitigation by Building Pad
10	8"	Crepe Myrtle Tree	To Be Removed and Mitigated
11	36"	Oak Tree	To Remain
12	12"	Crepe Myrtle Tree	To Be Removed and Mitigated
13	12"	Crepe Myrtle Tree	To Be Removed and Mitigated
14	8"	Crepe Myrtle Tree	To Be Removed and Mitigated

96" Total Mitigation required. See Landscape Plan

Article 8 Landscaping and Screening

- A four-foot plastic fencing, salt fencing, or other method approved by the Tree Preservation Administrator shall be installed around the drip line of all Protected Trees prior to commencement of construction.
- A construction entrance that avoids Protected Trees shall be established prior to commencement of construction.
- Construction, placement of fill, excavation, storage of construction materials, vehicles, or machinery, cleaning of equipment, the disposal of waste materials or other construction related activity is prohibited under the canopy or within the drip line of any Protected Tree, unless expressly authorized in writing by the Tree Preservation Administrator. Major changes of grade (i.e. 6-inches or greater) within the canopy or drip line is prohibited. A tree shall be considered protected if a minimum of 75% of the critical root zone is maintained at undisturbed natural grade and no more than 25% of the canopy is removed due to building encroachment. When roots more than 2-inches in diameter are to be cut off, they shall be cut with a medium tooth saw and covered with pruning compound within 2-hours of initial exposure.
- Trenching for utilities shall not be allowed within the critical root zone of existing trees that have been used to receive landscape tree credit, and boring under such trees may be required.
- Attachments or wires shall not be attached to any Protected Tree. Cables, tree rods, and similar hardware installations that do the structural integrity of a Protected Tree are exempt from this provision, if approved in writing by the Tree Preservation Administrator.
- Any trees removed shall be chipped and used for mulch on site or hauled offsite.

Case Number: STP-21-11-0022 Texas P.E. F-5482 : Texas TBPLS Firm License 10070800



SALCEDO GROUP, INC.
REGISTRATION NO. F-5482
CONCEPTUAL - FOR INTERIM REVIEW ONLY.
THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR CONSTRUCTION, RECORDING, OR PERMIT PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:
MICHAEL A. SALCEDO - PE 313454 DATE:

Exhibit D - Building Elevations
 Page 1 of 2

North Exterior Facade			
Material	Material SF	Material Percentage	
Stucco	2544	27%	
Architectural Shingles	1489	16%	
Cast Stone Banding	783	8%	
Cast Stone Banding Window Sills and Caps	512	6%	
Performance Fiber Lap Siding - Color S-1	1356	15%	
Performance Fiber Lap Siding - Color S-2	1356	15%	
Performance Fiber Lap Siding - Color S-3	1356	15%	
Other Area	890	10%	

South Exterior Facade			
Material	Material SF	Material Percentage	
Stucco	4889	19%	
Architectural Shingles	1489	6%	
Cast Stone Banding	783	3%	
Cast Stone Banding Window Sills and Caps	512	2%	
Performance Fiber Lap Siding - Color S-1	1356	5%	
Performance Fiber Lap Siding - Color S-2	1356	5%	
Performance Fiber Lap Siding - Color S-3	1356	5%	
Other Area	890	4%	

MATERIAL LEGEND

- S-1 8" PREFINISHED FIBER LAP SIDING, COLOR: HEATHERED MOSS, HARDIE BOARD
- S-2 8" PREFINISHED FIBER LAP SIDING, COLOR: COUNTRYLINE RED, HARDIE BOARD
- L-1 NATURAL CUT LIMESTONE, COLOR: LIGHT
- ST-1 3 COAT STUCCO, COLOR: SW 0654
- CS-1 CAST STONE BANDING, WINDOW SILLS AND CAPS, COLOR TO MATCH STONE
- C-1 SPLIT FACE GUMI, PAINT TO MATCH STONE
- T-1 PREFINISHED FIBER TRIM, 3-1/2" & 5-1/2" AT WINDOW 11-1/4" AT BANDING 3-1/2" VERTICAL OUTSIDE / INSIDE CORNER TRIM
- ARCHITECTURAL SHINGLES, COLOR: CHARCOAL, TIMBERLINE

PRINTS ISSUED
 0
 REV **Item 22.**



B1 SOUTH ELEVATION - COLORED
 1/8" = 1'-0"



A1 NORTH ELEVATION - COLORED
 1/8" = 1'-0"

rosemann & associates p.c.
 ARCHITECTURE
 INTERIOR DESIGN
 ENGINEERING
 PLANNING

15206 Grand Boulevard
 Kansas City, MO 64108-1404
 P: 816-472-1448
 F: www.rosemann.com
 © 2021 Rosemann & Associates, P.C.

DENVER • KANSAS CITY • ST. LOUIS • ATLANTA

PARKSIDE ON CARRIER
 1217 S. CARRIER PKWY
 GRAND PRAIRIE, TX

SHEET TITLE
 NORTH & SOUTH COLORED
 ELEVATIONS

PROJECT NUMBER: 21650

SHEET NUMBER:

A-200

Exhibit D - Building Elevations
Page 2 of 2

REFERENCE A-200 FOR MATERIALS LEGEND

PRINTS ISSUED

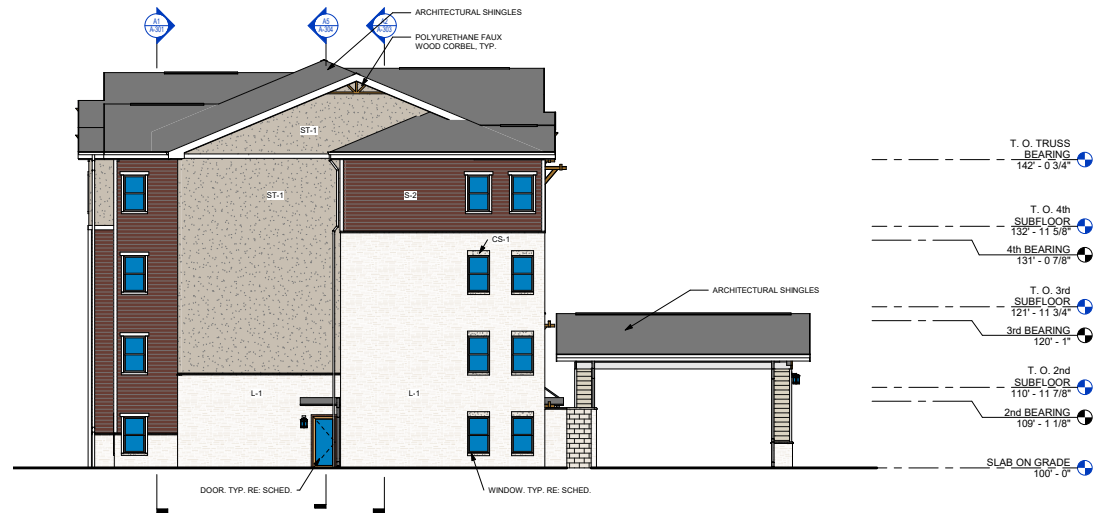
0
 REV **Item 22.**

West Exterior Facade		
Material	Material SF	Material Percentage
Cladding	75	6%
Horizontal Sill Connections	174	1%
Polystyrene Foam Ins. Siding - Color S-2	80	6%
Roofing	8	0%
Total Area	237	100%

East Exterior Facade		
Material	Material SF	Material Percentage
Cladding	75	6%
Horizontal Sill Connections	174	1%
Polystyrene Foam Ins. Siding - Color S-2	80	6%
Roofing	8	0%
Total Area	237	100%



B1 WEST ELEVATION - COLORED
 1/8" = 1'-0"



A1 EAST ELEVATION - COLORED
 1/8" = 1'-0"

rosemann & associates p.c.
 ARCHITECTURE
 INTERIOR DESIGN
 PLANNING
 15206 Grand Boulevard
 Kansas City, MO 64148-1404
 P: 816.472.1448
 F: www.rosemann.com
 © 2021 Rosemann & Associates, P.C.
 DENVER • KANSAS CITY • ST. LOUIS • ATLANTA

PARKSIDE ON CARRIER
 1217 S. CARRIER PKWY
 GRAND PRAIRIE, TX

SHEET TITLE
 EAST & WEST COLORED
 ELEVATIONS
 PROJECT NUMBER: 21950
 SHEET NUMBER:

A-201

12/20/21 12:42 PM
 C:\Users\jgarcia\OneDrive\Documents\21950_Parkside on Carrier.dwg

Category 1: Environmentally-friendly building materials, construction techniques, or other features

Item 22.

Tier I (Pick Three)

- i. "Smart" technology which automatically controls functions such as lights and thermostat to reduce energy loads during the day or at times of peak energy usage.
- ii. Use of solar or other form of alternative energy to satisfy approximately 25% or more of on-site energy demand.
- iii. Landscaping plan that makes use of native, drought resistant plantings not requiring the use of irrigation. In lieu of sod or turf, drought resistant plantings may be combined with coordinated hardscapes of high design quality and appearance for the purposes of meeting Tier I requirements.
- iv. Reservation of existing natural areas comprising 5% or more of the overall project size, with such areas incorporating quality non-invasive tree stands, habitat or riparian areas, and not including existing floodplain or other areas already protected or inherently unsuitable for development.
- v. Permeable pavement for 10% or more of total paving.
- vi. Electric car charging station (minimum 2).
- vii. High efficiency windows on residential and common buildings.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 100% of irrigation in accordance with section 8.4.1.11.

Tier II (Pick Four)

- i. Integration of commercial/retail/office space or live-work units.
- ii. Permeable pavement for 5% or more of total paving.
- iii. Roofing material with a minimum total solar reflectance of 0.70 and a minimum thermal emittance of 0.75 when measured using ASTM testing methods endorsed by the North Central Texas Council of Governments.
- iv. Significant use of recycled or locally-sourced materials. Locally-sourced is defined as a material having its origin within 50 miles of the project.
- v. Preservation of existing non-invasive trees with a combined canopy square footage area totaling at least 5% of the overall project size (trees can come from any portion of the site other than areas which are already projected or inherently unsuitable for development, such as floodplain).
- vi. Qualified recycling program available to every resident.
- vii. Walking/jogging trails within the development. Where possible, trails should utilize existing natural areas and provide linkages to existing or future area trail networks.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 50% of irrigation in accordance with section 8.4.1.11.

Tier III (Pick Five)

- i. Additional insulation.
- ii. LED or low-wattage lighting.
- iii. Bicycle parking.
- iv. Use of additional native plantings totaling 10% or more of minimum landscape requirements.
- v. Stormwater or grey water reclamation for on-site reuse in accordance with section 8.4.1.11.
- vi. Solar-ready building design.
- vii. Outdoor recreation spaces with communal features such as furniture, landscaping, gardens, televisions, movie screens, BBQ grills, pergolas, areas for fitness or sports activities, and interactive water features, not including standard unheated swimming pools, which are designed for water conservation or reuse.
- viii. Big and small dog parks.

Category 2: High-quality features or designs**Tier I (Pick Four)**

- i. Granite countertops or similar in kitchens and bathrooms.
- ii. Upgraded flooring throughout, consisting of masonry tile, such as porcelain or travertine, wood-look tile, true hardwood, stained concrete, or deep pile carpeting.
- iii. Minimum 10 foot ceilings in living areas, kitchen, dining rooms, hallways, bathrooms and bedrooms.
- iv. Upgraded woodwork throughout each unit, such as crown molding, wainscot, chair rails, window and door moldings.
- v. Upgraded cabinetry.

Tier II (Pick Five)

- i. Arched forms separating rooms and living spaces.
- ii. Upgraded light fixtures including recessed lighting or indirect lighting.
- iii. Walk-in closets.
- iv. Jetted bathtubs.
- v. Upgraded bathroom and kitchen hardware, including faucets and sinks.
- vi. Full-size stainless steel major appliances (oven, range, refrigerator, dishwasher, microwave oven).
- vii. 8 foot doors leading to each room of a unit.

See attached Developer
Comments**Category 3: Technology (Provide All)**

- a. Integrated USB ports within all units.
- b. App-enabled functionality for door locks, lighting, thermostat, appliances, or other electronics.
- c. App-enabled communication between residents and management for the reporting of problems related to mechanical failures, safety concerns, or noise issues.
- d. Wi-fi internet access provided to users of common amenities such as clubhouse, pool, walking trails, and fitness area.

DEVELOPER COMMENTS RE: APPENDIX W

Category Three of the Appendix W Checklist for Multi-family Development includes providing “app-enabled functionality for door locks, lighting, thermostat, appliances, or other electrics.” Developer is requesting that this requirement be waived for this development. The development will be restricted to senior residents. In conversations with the management company, the management company has indicated that senior residents prefer simpler controls for locks, lights, thermostat, appliances, and other electronics. The management company has also indicated that senior residents have a hard enough time handling existing technology and that providing app-enabled functionality would not be a benefit to them but would make their lives more difficult. Accordingly, we are requesting that this requirement be waived.



Salcedo Group, Inc.

DATE: NOVEMBER 30, 2021

401 College Street, Grand Prairie, Texas 75050
Phone 214.412.3122 Fax 214.412.4089
www.salcedogroupinc.com
Texas P.E. F-5482 : TBPLS Firm License No. 10070800

**PARKSIDE ON CARRIER
PROJECT NARRATIVE**

Parkside on Carrier will be developed on approximately 2.85 acres located at 1217 S Carrier Parkway, Grand Prairie, Dallas County, TX. It will be built on the site of the current City Chapel church which will be demolished. The development will consist of a single elevated 4-story residential building with 38 units. The community will be marketed to and restricted to seniors aged 55+ will allow tenants to enjoy an amenity rich community. Each apartment will include a full kitchen, window coverings, ceiling fans, individually controlled heating and air conditioning systems, in-unit washer/dryer and floor covering throughout.

Community amenities include 2,110 square feet of amenity space to include management offices, community warming kitchen and gathering space, fitness facility, and business center. In addition, each floor of the 4-story building will also include amenity space for craft activities or quiet enjoyment. The Owner is working with local non-profit organizations to provide resident services such as annual tax preparation, a monthly food pantry, health fair, exercise classes, social and recreation events. Inside the 4-story building, residents will enjoy the use of amenities, all designed to enable the residents a carefree lifestyle. Exterior amenities will include a gazebo/dog park, raised garden beds, and partial perimeter fencing.

The building exterior will be constructed using materials designed to render the building virtually maintenance-free during its tax credit compliance period and beyond. Consisting of brick or stone façade, with the balance of pre-finished, cementitious siding, the building exterior will stand up to the elements and normal wear with virtually no visual effect. Underground detention will be provided on site.



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: STP-21-12-0025 - Site Plan - International Leadership Texas High School (City Council District 4). Site Plan for a High School Campus with an 88,655 sq. ft., two-story building, athletic fields, and 12 temporary modular buildings on 27.82 acres. Lot 1, Block 1, IL Texas GP Addition and Lot 3, Block A, Sunbelt Addition, City of Grand Prairie, Tarrant County, Texas, zoned Agricultural and PD-319 and located within the SH-360 Corridor Overlay District, addressed as 2851 Ragland Rd (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0 with the condition that the building elevations meet Appendix F requirements)

APPLICANT: International Leadership School – Grand Prairie, Inc.

RECOMMENDED ACTION: Staff generally supports the request. Staff is not opposed to the height variance request but finds there could be more facade articulation. The proposed site plan is similar to the previous site plan approved for the existing building.

SUMMARY:

Site Plan for a High School Campus with an 88,655 sq. ft., two-story building, athletic fields, and 12 temporary modular buildings on 27.82 acres. Lot 1, Block 1, IL Texas GP Addition and Lot 3, Block A, Sunbelt Addition, City of Grand Prairie, Tarrant County, Texas, zoned Agricultural and PD-319 and located within the SH-360 Corridor Overlay District, addressed as 2851 Ragland Rd.

Project Update:

- On February 14, 2022, the Planning and Zoning Commission recommended approval with the condition that the building elevations meet Appendix F requirements.
- The applicant revised the building elevations to remove the CMU's and add covered walkways.

PURPOSE OF REQUEST:

The applicant intends to construct a two-story building, athletic fields, and 12 temporary modular buildings on the school campus. Proposed campus improvements include construction of a student and

staff parking lot and an access drive with direct connection to SH 360 Service Road. The Unified Development Code (UDC) requires City Council approval of site plan request within a designated Corridor Overlay District. The proposal requires City Council approval because the property is located within the SH-360 Corridor Overlay District.

The purpose of site plan approval is to ensure that development meets UDC requirements, provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

Development within a Corridor Overlay District must meet the requirements in Appendix F. The guidelines and standards contained in Appendix F are intended to produce high-quality places that enhance the quality of life for people in Grand Prairie, strengthen economic development efforts, and contribute to the positive image of the city.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing land uses for the surrounding properties.

Table 1. Adjacent Land Use and Zoning

Direction	Zoning	Existing Use
North	Agricultural	Religious Instruction
South	Agricultural	Undeveloped
West	Agricultural	SH 360 Service Rd
East	Agricultural	Gas Well

HISTORY:

- October 14, 2014: City Council approved a Site Plan authorizing Phase I of the International Leadership Charter School, which included construction of a 75,705 sq. ft. school building and dormitory building on 23.797 acres (Case Number S141001).
- October 22, 2015: The Development Review Committee (DRC) administratively approved a Site Plan authorizing a 13,500 sq. ft. expansion of the school building provided that the architectural design mirrors the Council approved Site Plan and that the proposed access to S.H. 360 be removed from the plan (Case Number S141001B).
- November 17, 2015: City Council approved an amendment to the associated Concept Plan extending the deadline to construct architectural elements on the south and east facades to 2019 (Case Number CP151001).
- April 21, 2017: The Development Review Committee (DRC) administratively approved a Site Plan authorizing an expansion to the school building and construction of additional parking and a temporary building to accommodate the ROTC program (Case Number S141001B).
- March 19, 2019: City Council approved a Site Plan Amendment to extend the deadline to construct required architectural elements (Case Number S141001C).
- November 2, 2021: City Council approved a site plan amendment to allow for the placement of 8 modular buildings to the site, subject to the applicant obtaining City Council approval of a Site Plan for the new building and a building permit for the new building (Case Number S210905).

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The applicant proposes to construct a new two-story, 88,655 sq. ft. high school building to serve 1,200 students. The existing school building suffers from substantial construction defects. The applicant intends to construct the new building south of the existing building where the existing athletic fields are located. After the new building is constructed, the applicant will demolish the existing building. The existing parking lot will remain intact and the applicant will construct new athletic fields on the area of the site previously occupied by the existing building.

The site is accessible from Ragland Rd, and the applicant is proposing an additional commercial driveway that will provide access from the SH 360 Service Road.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The property is subject to density and dimensional requirements in Article 6 of the Unified Development Code (UDC) when not specified by the Planned Development. The following table summarizes these requirements. The proposal meets the density and dimensional requirements.

Table 2. Site Data Summary

Standard	Required Ag	Proposed	Meets
Min. Lot Area (Sq. Ft.)	5 Acres	27.82	Yes
Min. Lot Width (Ft.)	100	603	Yes
Min. Lot Depth (Ft.)	150	1,563	Yes
Front Setback (Ft.)	40	750	Yes
Rear Setback (Ft.)	25	400	Yes
Max. Height (Ft.)	25	41.5	No

Parking Requirements

The property is subject to parking requirements in Article 10 of the UDC. The following table summarizes these requirements.

Table 3. Parking Summary

Standard for High School 1,208 Students, 120 Staff (1/1.5 Students + 1/Staff	Maximum Allowed	Provided	Meets
	986	517	Yes

Landscape and Screening

The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC. The table below summarizes these requirements.

Table 4. Landscape Summary

Standard	Required	Proposed	Meets
Landscape Area (Sq. Ft.)	10% - 100,629	28% - 286,114	Yes
Trees	1/500 Sq. Ft. - 201	201	Yes

Parking Island with Tree (Each space within 100' of Tree)	1 per 10 spaces 52	52	Yes
Total Trees	253	253	Yes
Shrubs 1-5 Gal/50 Sq. Ft.	2,013	2,109	Yes
Flowering/Colorful Plantings	20% of Req.	34%	Yes
Native Plantings	70% of Req.	83%	Yes

Building Design

The proposed building materials include brick and Concrete Masonry Units (CMU’s). Appendix F states that the use of CMU’s shall be prohibited on a facade that faces or is mostly parallel to a street, usable open space, a public park, or a parking lot with 10 or more spaces. The north elevation has an articulated entry feature supported by traditional columns.

Appendix F Menu Items

The applicant has selected 12 of the 12 required elements from the Appendix F Checklist. Selections are as follows: maintain the existing parking and parking lot trees. a ride-share program, enhanced windows, color contrast, an open space plan to include connections to pedestrian paths and the trail system, 83% native plants, and 34% pollinator friendly flowers.

VARIANCES:

The applicant is requesting the following variances:

1. Building Height – The maximum allowable height is 25 ft. The proposed building has a height of 43.5 ft.
2. Building Articulation – Appendix F requires horizontal and vertical articulation on all four facades of a building. The proposed building design does not include vertical articulation on all sides.
3. ~~Covered Walkways~~ – Appendix F requires covered walkways, awnings, canopies, or porticos along at least 25% of the length of all four facades. ~~The proposed building design does not meet this requirement.~~ The revised elevations do not require this variance.
4. ~~CMU’s on the North, South, and East Facades~~ – Appendix F prohibits the use of CMU’s on the North, South, and East Facades. ~~The proposed elevations include CMU’s.~~ The revised building elevations do not require this variance.

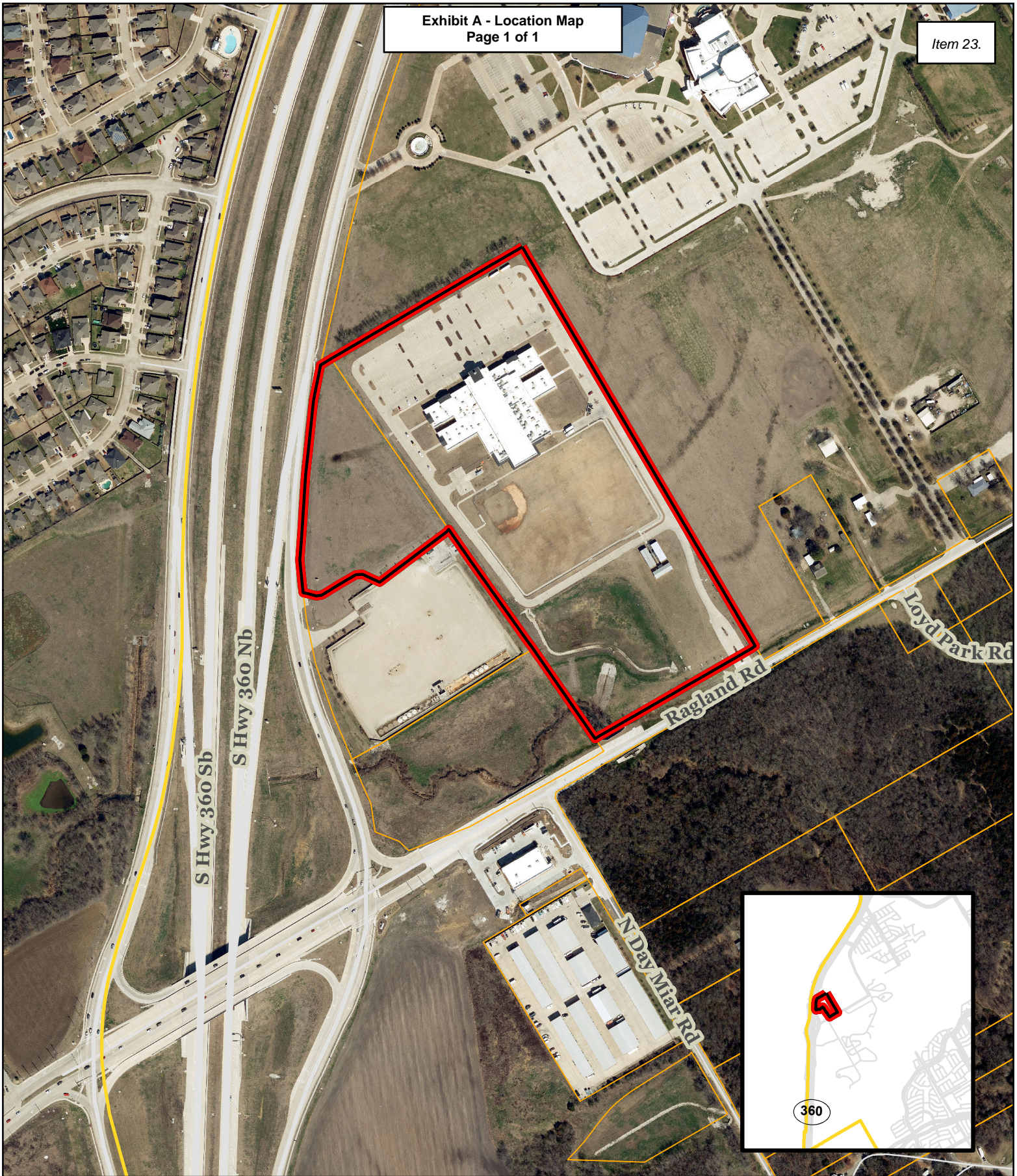
ANALYSIS:

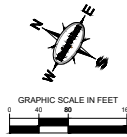
In response to the applicant’s circumstances and concerns for the condition of the existing building, Council provided direction and conditions associated with the request to place multiple modular buildings on the school campus to accommodate classrooms during construction transition.

The rebuild plan presented generally adheres to UDC, but requires several variances to the building design requirements in Appendix F. The orientation of the new building, location of athletic fields is compatible with adjacent land uses. The proposed drive connection will provide direct access to the campus from SH-360 Service Road and could improve traffic circulation for the campus.

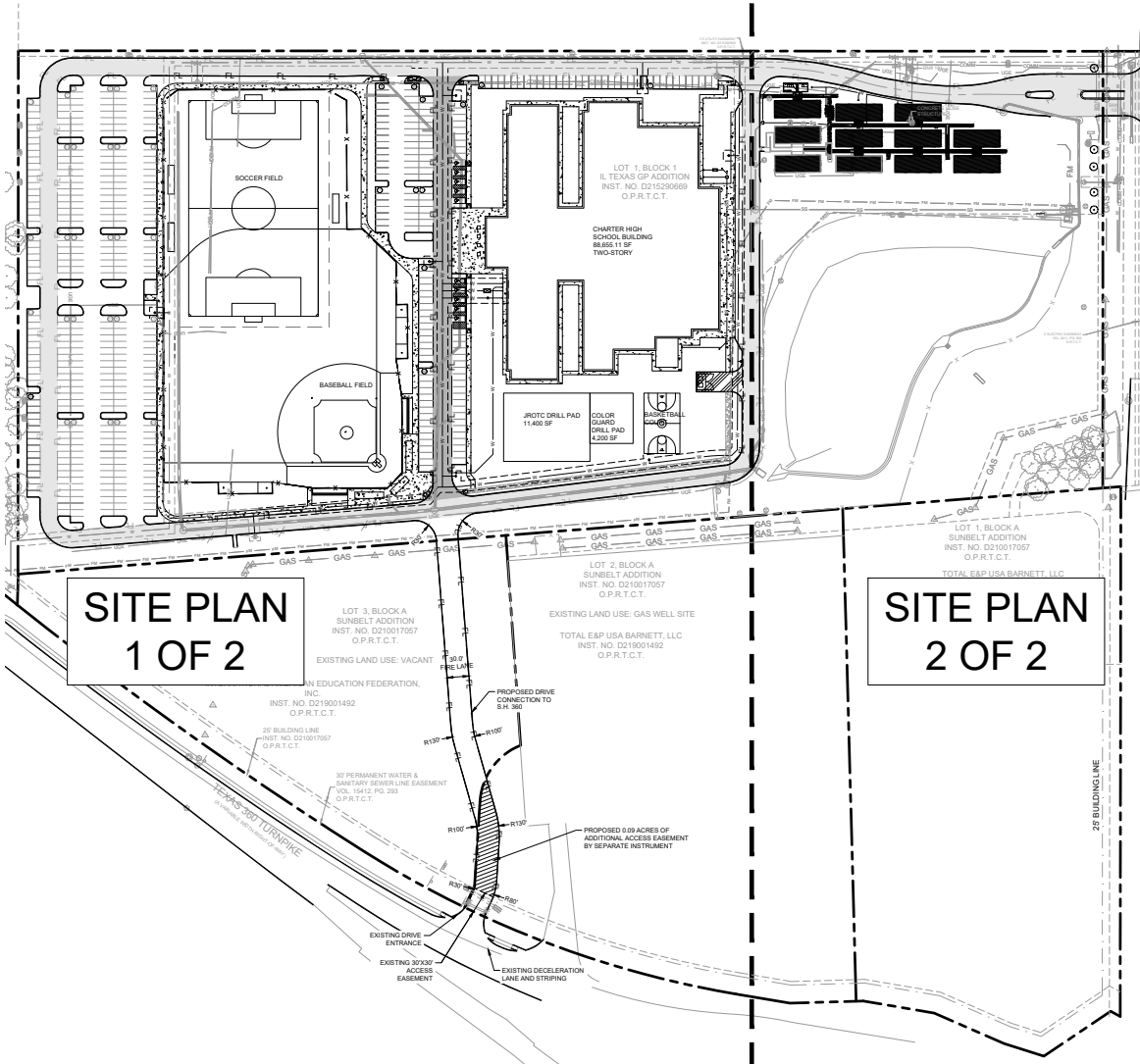
RECOMMENDATION:

- On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0 with the condition that the building elevations meet Appendix F requirements.
- Staff generally supports the request. Staff is not opposed to the height variance request but finds there could be more facade articulation. The proposed site plan is similar to the previous site plan approved for the existing building.





VICINITY MAP



PORTABLES COUNT

- (3) EXISTING PORTABLES
- (3) PROPOSED PORTABLES
- (1) RR PORTABLES
- (12) TOTAL PORTABLES
- (10) PHASE DRINKING FOUNTAINS

SITE DATA TABLE

NOTES:	
ZONING:	27.82 AC A AND PD-319 EDUCATION
STUDENTS ENROLLED:	1208
LANDSCAPING:	100,029.69 SF
LANDSCAPE AREA REQUIRED:	15% OF TOTAL SITE AREA
LANDSCAPE AREA PROVIDED:	286,114.33 SF
	28% OF TOTAL SITE AREA
BUILDINGS:	
W/SP. FOOTPRINT:	88,655.11 SF
HIGH SCHOOL HEIGHT:	41'-0" (TWO-STORY)
PORTABLE FOOTPRINT:	1558 SF (EACH)
PORTABLE HEIGHT:	13'-3"

PARKING CALCULATIONS TABLE

PARKING REQUIRED	SPACES
115 STUDENTS (1208) / 11 STAFF (120)	120
TOTAL PARKING REQUIRED:	120
PARKING PROVIDED:	120
EXISTING TO REMAIN	330
PROPOSED	187
TOTAL PARKING PROVIDED:	517
ADA PARKING	
REQUIRED (2% OF PARKING)	11
PROVIDED	11
11ST PARKING STALLS PROVIDED PER SECTION OF I.T. OPERATIONS. CALCULATIONS BASED OFF OF 50% OF STUDENT DRIVERS	

LINE TYPE LEGEND

W	WATER LINE
SS	SANITARY SEWER LINE
SW	STORM SEWER LINE
EX W	EX. WATER LINE
EX SS	EX. SANITARY SEWER LINE
EX SW	EX. STORM SEWER LINE
EX E	EX. UNDERGROUND GAS LINE
EX E	EX. UNDERGROUND ELECTRIC LINE
EX T	EX. UNDERGROUND TELEPHONE LINE

APPENDIX F - MENU ITEM SUMMARY TABLE

ELEMENT	# OF MENU ITEMS
USABLE OPEN SPACE & PEDESTRIAN WALKWAYS	1
SITE DESIGN & BUILDING ORIENTATION	1
BUILDING DESIGN	6
HEALTHY, SMART, SUSTAINABLE COMMUNITY	3
ALTERNATIVE COMPLIANCE	1
TOTAL MENU ITEMS	12

LEGEND

---	PROPERTY LINE
- - - -	PROPOSED EASEMENT
X	PROPOSED FENCE
- X -	EXISTING FENCE
FL	PROPOSED FIRE LINE STRIPING
---	PROPOSED FIRELINE (CONCRETE)
---	EXISTING FIRELINE (CONCRETE)
---	PROPOSED SIDEWALK (CONCRETE)
---	EXISTING SIDEWALK (CONCRETE)
---	PROPOSED FIRE HYDRANT (FH)
---	PROPOSED FIRE DEPARTMENT CONNECTION
---	BARBER FREE RAMP (BFR)
---	NUMBER OF PARKING SPACES PER ROW
---	EXISTING STORM MANHOLE
---	EXISTING GAS SWR. MANHOLE
---	EXISTING SIGN
---	EXISTING WATER VALVE
---	EXISTING IRRIGATION CONTROL VALVE
---	EXISTING GAS MARKER

PORTABLES LEGEND

---	PROPOSED PORTABLE BUILDING OUTLINE
---	EXISTING PORTABLE BUILDING OUTLINE
---	4' SATELLITE RAMP & DECK SYSTEM WITH HANDRAILS
---	PROP PAVEMENT
---	PROP BFR
RR	RESTROOM

SITE PLAN
1 OF 2

SITE PLAN
2 OF 2

SITE PLAN
I.L. TEXAS HIGH SCHOOL
LOT 1, BLOCK 1
TOTAL ACREAGE: 27.82 ACRES
CITY OF GRAND PRAIRIE, TEXAS
CITY PROJECT NO. STP-21-12-0025
SUBMITTED JANUARY 28, 2022

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER,
SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: NEDA HOSEINY, P.E.

OWNER:
INTERNATIONAL AMERICAN
EDUCATION FEDERATION INC.
1651 N. GLENVILLE RD. SITE 126
RICHARDSON, TX 75081
CONTACT: CHARLES KLEIN
PH: 713-309-0046

ARCHITECT:
PIVOT NORTH
1101 W. GROVE ST.
BOISE, IDAHO 83702
PH: (208) 690-1088
CONTACT: DAN HARRIGAN, LEED GA

DATE: 01/28/2022
PROJECT NO.: 086808206
SHEET NUMBER: 086808206
C-100

Kimley-Horn & Associates, Inc. is a registered professional engineering firm in the State of Texas. The design of this project was prepared and checked by the registered professional engineers of this firm. The design of this project was prepared and checked by the registered professional engineers of this firm. The design of this project was prepared and checked by the registered professional engineers of this firm.

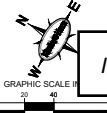
DATE: 01/28/2022
 PROJECT NO.: 086808206
 SHEET NUMBER: 086808206
C-100

PRELIMINARY
 Not for construction or permit purposes.
Kimley-Horn
 Kimley-Horn & Associates, Inc.
 13455 Noel Road, Suite 700
 Dallas, Texas 75240
 www.kimley-horn.com
 TEXAS REGISTERED ENGINEERING FIRM #028

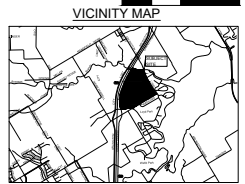
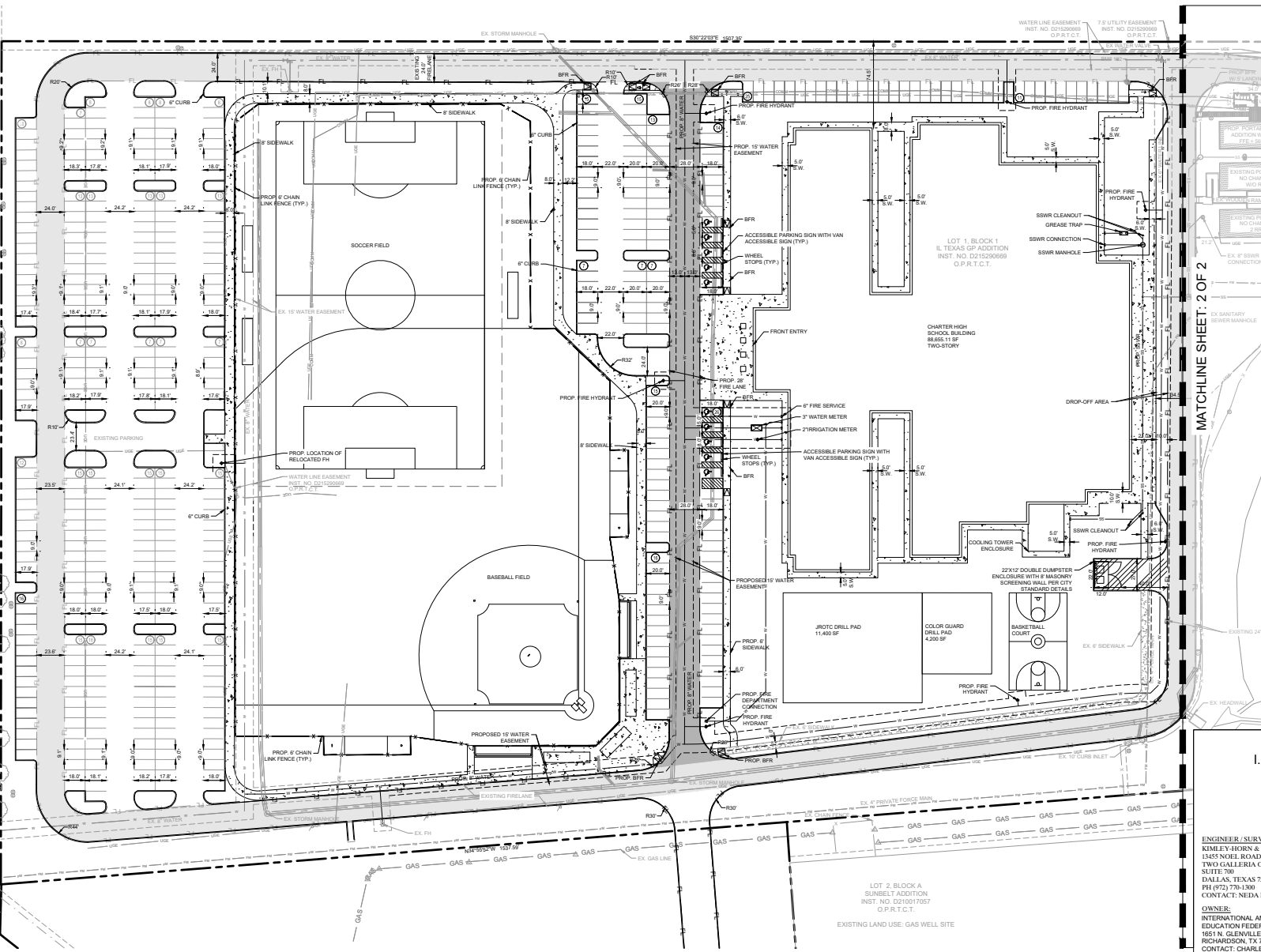
SCOTT CAS SHOWN
 DESIGNED BY
 DRAWN BY
 CHECKED BY
 APPROVED BY
 CIMA

IL-TEXAS GRAND PRAIRIE
2851 RAGLAND RD
 CITY OF GRAND PRAIRIE, TEXAS
OVERALL SITE PLAN

Exhibit B - Site Plan
Page 2 of 3



Item 23.



LEGEND

- PROPERTY LINE
- - - PROPOSED EASEMENT
- - - PROPOSED FENCE
- - - EXISTING FENCE
- - - FL PROPOSED FIRE LANE STRIPING
- PROPOSED FIRELANE (CONCRETE)
- EXISTING FIRELANE (CONCRETE)
- PROPOSED SIDEWALK (CONCRETE)
- EXISTING SIDEWALK (CONCRETE)
- PROPOSED FIRE HYDRANT (FH)
- PROPOSED FIRE DEPARTMENT CONNECTION
- BARRIER FREE RAMP (BFR)
- NUMBER OF PARKING SPACES PER ROW
- EXISTING FIRE HYDRANT
- EXISTING STORM MANHOLE
- EXISTING SAN. SWR. MANHOLE
- EXISTING S.W.R.
- EXISTING WATER VALVE
- EXISTING IRRIGATION CONTROL VALVE
- EXISTING GAS MARKER

LINE TYPE LEGEND

- W WATER LINE
- S SANITARY SEWER LINE
- ST STORM SEWER LINE
- W EX WATER LINE
- S EX SANITARY SEWER LINE
- ST EX STORM SEWER LINE
- G EX UNDERGROUND GAS LINE
- E EX UNDERGROUND ELECTRIC LINE
- T EX UNDERGROUND TELEPHONE LINE

SITE DATA TABLE

NOTE:	
ACREAGE:	27.82 AC.
ZONING:	A AND PD-310
USE:	EDUCATION
LINE:	1208
STUDENTS ENROLLED:	
LANDSCAPING:	
LANDSCAPE AREA REQUIRED:	100,629.69 SF
% OF TOTAL SITE AREA:	361.14%
LANDSCAPE AREA PROVIDED:	286,114.33 SF
% OF TOTAL SITE AREA:	1028.34%
BUILDINGS:	
HIGH SCHOOL FOOTPRINT:	88,665.11 SF
HIGH SCHOOL HEIGHT:	47'-0" (TWO-STORY)
PORTABLE FOOTPRINT:	136 SF (EACH)
PORTABLE HEIGHT:	10'-0"

MATCHLINE SHEET: 2 OF 2

SITE PLAN
I.L. TEXAS HIGH SCHOOL
LOT 1, BLOCK 1
TOTAL ACREAGE: 27.82 ACRES
CITY OF GRAND PRAIRIE, TEXAS
CITY PROJECT NO. STP-21-12-0025
SUBMITTED JANUARY 28, 2022

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER,
SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: NEDA HOSEBAY, P.E.

OWNER:
INTERNATIONAL AMERICAN
EDUCATION FEDERATION INC.
1651 N. GLENVILLE RD. STE 126
RICHARDSON, TX 75081
CONTACT: CHARLES KLEIN
PH: 713-309-0046

ARCHITECT:
PIVOT NORTH
1101 W. GROVE ST.
BOISE, IDAHO 83702
PH: (208) 460-1108
CONTACT: DAN HARRIGAN, LEED GA.

Kimley-Horn
KIMLEY-HORN & ASSOCIATES, INC.
6160 WARDEN PARKWAY, SUITE 210, FARGO, ND 58104
WWW.KIMLEY-HORN.COM
TEAS REGISTERED ENGINEERING FIRM #208

PRELIMINARY
Kimley-Horn
KIMLEY-HORN & ASSOCIATES, INC.
6160 WARDEN PARKWAY, SUITE 210, FARGO, ND 58104
WWW.KIMLEY-HORN.COM

SCALE:
AS SHOWN
DESIGNED BY:
NEDA HOSEBAY
DRAWN BY:
JAMES CARL
CHECKED BY:
DAN HARRIGAN

IL-TEXAS GRAND PRAIRIE
2851 RAGLAND RD
CITY OF GRAND PRAIRIE, TEXAS

SITE PLAN

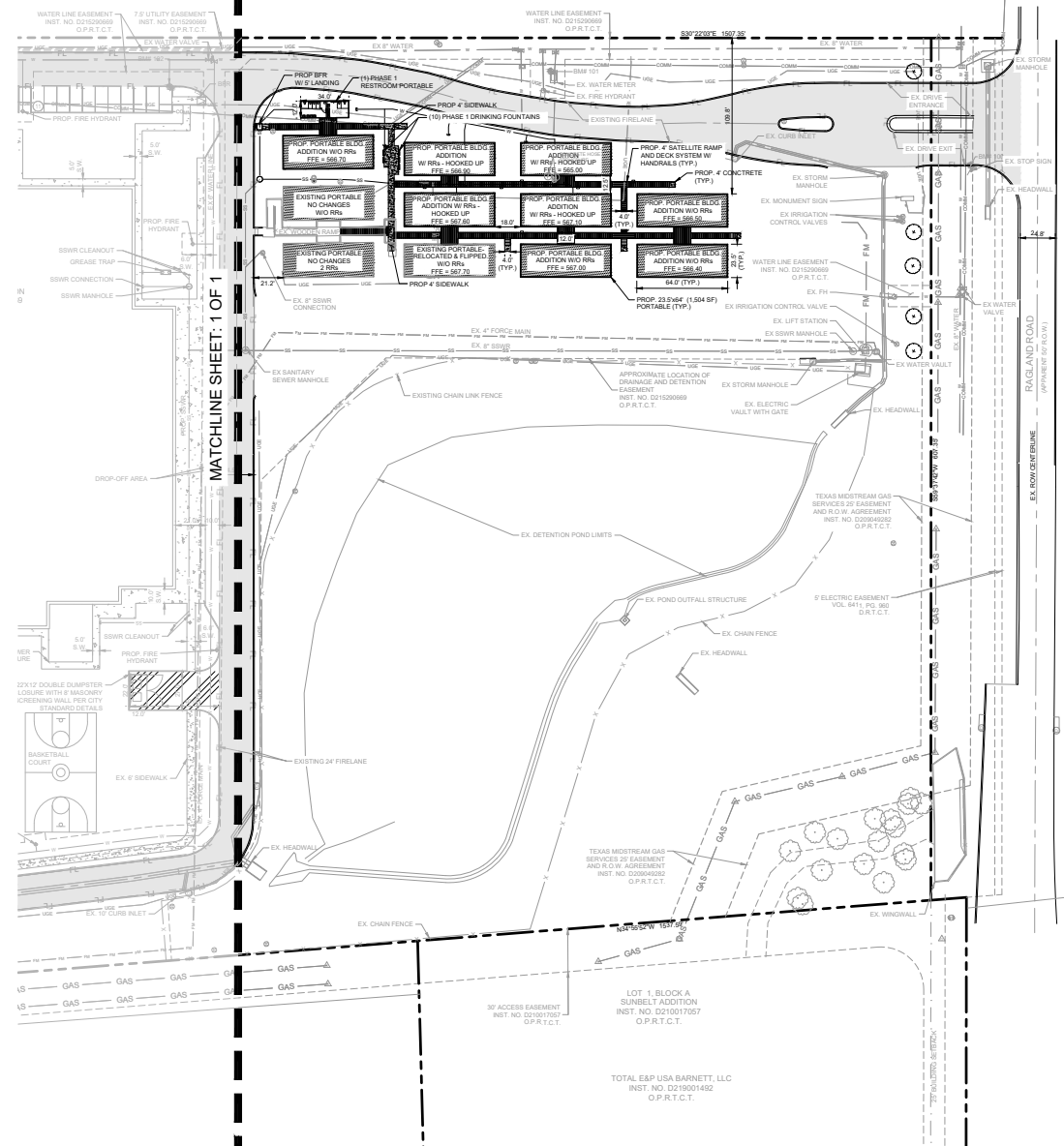
DATE
01/28/2022
PROJECT NO.
086808206
SHEET NUMBER
1 OF 2

Kimley-Horn & Associates, Inc. is a registered professional engineering firm in the State of North Dakota. This document is the property of Kimley-Horn & Associates, Inc. and is not to be reproduced or used in any manner without the written authorization and signature of Kimley-Horn & Associates, Inc. All rights reserved.

Exhibit B - Site Plan Page 3 of 3

GRAPHIC SCALE IN FEET
0 20 40 80

Item 23.



MATCHLINE SHEET: 1 OF 1

SITE DATA TABLE

NOTES:	
ACREAGE:	27.82 AC.
ZONING:	A AND PD-319
USE:	EDUCATION
STUDENTS ENROLLED:	1208
LANDSCAPING:	
LANDSCAPE AREA REQUIRED:	100,629.69 SF
10% OF TOTAL SITE AREA	
LANDSCAPE AREA PROVIDED:	286,114.33 SF
28% OF TOTAL SITE AREA	
BUILDINGS:	
HIGH SCHOOL FOOTPRINT:	88,855.11 SF
HIGH SCHOOL HEIGHT:	41'-0" (TWO-STORY)
PORTABLE FOOTPRINT:	1338 SF EACH
PORTABLE HEIGHT:	13'-3"

PARKING CALCULATIONS TABLE

PARKING REQUIRED	SPACES
11.5 STUDENTS (1208)	805
31 STAFF (120)	120
TOTAL PARKING REQUIRED	924
PARKING PROVIDED	924
EXISTING TO REMAIN	530
PROPOSED	408
TOTAL PARKING PROVIDED	938
ADA PARKING	
REQUIRED (2% OF PARKING)	11
PROVIDED	11

PORTABLES COUNT

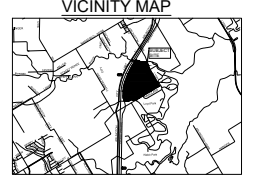
(3) EXISTING PORTABLES
(5) PROPOSED PORTABLES
(1) RR PORTABLES
(12) TOTAL PORTABLES
(10) PHASE DRINKING FOUNTAINS

LINE TYPE LEGEND

W	WATER LINE
SS	SANITARY SEWER LINE
G	GAS LINE
E	ELECTRIC LINE
U	UNDERGROUND GAS LINE
U	UNDERGROUND ELECTRIC LINE
U	UNDERGROUND TELEPHONE LINE

APPENDIX F - MENU ITEM SUMMARY TABLE

ELEMENT	# OF MENU ITEMS
USABLE OPEN SPACE & PEDESTRIAN WALKWAYS	1
SITE DESIGN & BUILDING ORIENTATION	1
LANDSCAPING DESIGN	6
HEALTHY, SMART, SUSTAINABLE COMMUNITY	3
ALTERNATIVE COMPLIANCE	3
TOTAL MENU ITEMS	12



LEGEND

---	PROPERTY LINE
---	PROPOSED EASEMENT
X	PROPOSED FENCE
X	EXISTING FENCE
---	PROPOSED FIRE LINE STRIPING
---	PROPOSED FIRE LINE (CONCRETE)
---	EXISTING FIRELINE (CONCRETE)
---	PROPOSED SIDEWALK (CONCRETE)
---	EXISTING SIDEWALK (CONCRETE)
---	PROPOSED FIRE DEPARTMENT CONNECTION
---	BARBER FREE RAMP (BFR)
---	NUMBER OF PARKING SPACES PER ROW
---	EXISTING FIRE HYDRANT
---	EXISTING STORM MANHOLE
---	EXISTING SAN. SWR. MANHOLE
---	EXISTING SIGN
---	EXISTING WATER VALVE
---	EXISTING IRRIGATION CONTROL VALVE
---	EXISTING GAS MARKER

PORTABLES LEGEND

---	PROPOSED PORTABLE BUILDING OUTLINE
---	EXISTING PORTABLE BUILDING OUTLINE
---	4' SATELLITE RAMP & DECK SYSTEM WITH HANDRAILS
---	PROP PAVEMENT
---	PROP BFR
RR	RESTROOM

SITE PLAN I.L. TEXAS HIGH SCHOOL LOT 1, BLOCK 1

TOTAL ACREAGE: 27.82 ACRES
CITY OF GRAND PRAIRIE, TEXAS
PROJECT NO. STP-21-12-0025
SUBMITTED JANUARY 28, 2022

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER,
SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: NEDA HOSEBNEY, P.E.

OWNER:
INTERNATIONAL AMERICAN
EDUCATION FEDERATION INC.
1651 N. GLENVILLE RD. STE 126
RICHARDSON, TX 75081
CONTACT: CHARLES KLEIN
PH: 713-309-0044

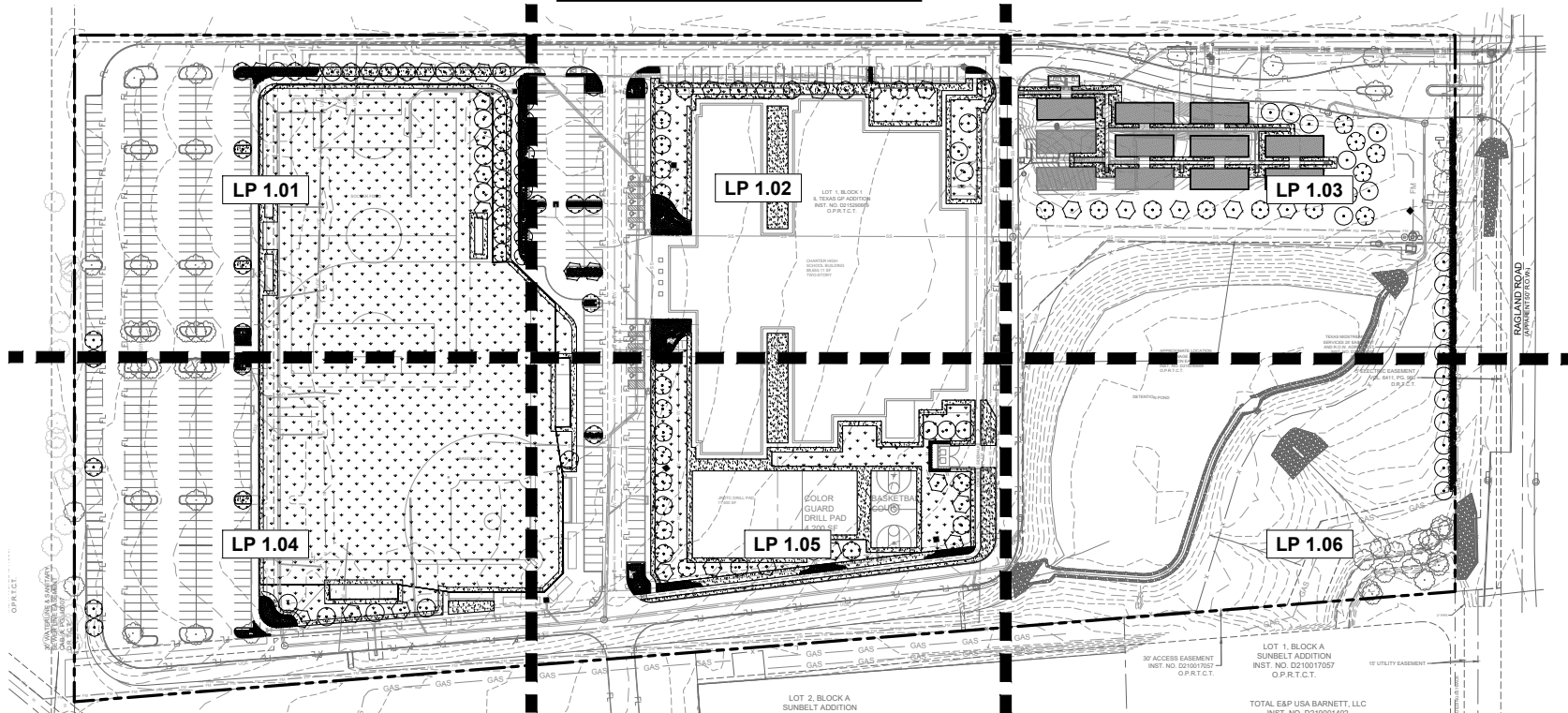
ARCHITECT:
PIVOT NORTH
1101 W. GROVE ST.
BOISE, IDAHO 83702
PH: (208) 600-1108
CONTACT: DAN HARRIGAN, LEED GA

Prepared by: Kimley-Horn & Associates, Inc., 2025. All rights reserved. This site plan is a preliminary drawing. It is not to be used for construction without the approval of the City of Grand Prairie. The information shown on this plan was obtained from the client and is not guaranteed. Kimley-Horn & Associates, Inc. shall be liable only for the information it provided and shall not be liable for any information it did not provide. The information shown on this plan was obtained from the client and is not guaranteed. Kimley-Horn & Associates, Inc. shall be liable only for the information it provided and shall not be liable for any information it did not provide.

**IL-TEXAS GRAND PRAIRIE
2851 RAGLAND RD
CITY OF GRAND PRAIRIE, TEXAS**

SITE PLAN
DATE: 01/28/2022
PROJECT NO: 068908206
SHEET NUMBER: 2 OF 2

Exhibit C - Landscape Plan
Page 1 of 7



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	CONT.	REMARKS
	AA	31	ACER X FRIEMANNI / JEFFERD / AUTUMN BLAZE MAPLE	3" CAL. 14' HT. 6' SRR	3" CAL.	FULL, STRAIGHT, SINGLE LEADER
	QA	40	QUERCUS MULLENBERGI / CHINKAPIN OAK	3" CAL. 14' HT. 6' SRR	3" CAL.	FULL, STRAIGHT, SINGLE LEADER, NATIVE
	QV	36	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	3" CAL. 16' HT. 6' SRR	3" CAL.	FULL, STRAIGHT, SINGLE LEADER, NATIVE
	UC	42	ULMUS CRASSIFOLIA / CEDAR ELM	3" CAL. 14' HT. 6' SRR	3" CAL.	FULL, STRAIGHT, SINGLE LEADER, NATIVE
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	CONT.	REMARKS
	AD	493	ANISCAANTHUS QUADRIFIDUS VAR. WRIGHTII / FLAME ACANTHUS	24" HT. 18" SRR, 30" OC	FULL, 5 GAL.	NATIVE, POLLINATOR
	LF	281	LEUCOPHYLLUM FRUTESCENS COMPACTA / COMPACT TEXAS SAGE	24" HT. 24" SRR, 30" OC	FULL, 5 GAL.	NATIVE, POLLINATOR
	LP	352	LORDPETALUM CHINENSE SHANG HE / PURPLE DIAMOND FRINGE FLOWER	24" HT. 24" SRR, 30" OC	FULL, 5 GAL.	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	CONT.	REMARKS
	MJM	265	MULLENBERGIA CAPILLARIS / PINK MAHLY	24" HT. 24" SRR, 30" OC	FULL, 5 GAL.	NATIVE
	NAS	718	NASSELLA TENNESIANA / MEXICAN FEATHER GRASS	18" HT. 18" SRR, 24" OC	FULL, 5 GAL.	NATIVE
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS	
	SEED	198,051 SF	CYNODON DACTYLON / BERMUDA GRASS		HYPOSED AREAS, SEE LANDSCAPE SPECIFICATIONS	
	SOD	68,226 SF	CYNODON DACTYLON / BERMUDA GRASS		SOLID SOD, ROLLED TIGHT WITH SAND FILLED JOINTS. 100% WEED, PEST AND DISEASE FREE.	
	SE	T80	STEEL EDGE	3/16" X 4" BLACK		
	MULCH	T80	SHREKED HARDWOOD MULCH		3" DEPTH. ALL TREES WITHIN SOD HAVE 4" DIAMETER MULCH RING	
	EXIST	52	EXISTING TREE TO REMAIN			

GRAND PRAIRIE LANDSCAPE CODE & CORRIDOR OVERLAY DISTRICT REQUIREMENTS

REQUIRED	PROVIDED
SITE AREA - 1,006,296.9 SF	
REQUIRED LANDSCAPE AREA - APPENDIX W.3.II.G 10% OF TOTAL SITE AREA (1,006,296.9 SF) X 10% = 100,629.69 SF	100,629.69 SF 286,707.49 SF
TREES - APPENDIX W.3.II.G ALL TREES MINIMUM 3" CALIPER 1 TREE PER 500 SF REQUIRED LANDSCAPE AREA (100,629.69 SF / 500 = 201 TREES)	YES YES 201 TREES 52 EXISTING TREES 149 PROPOSED TREES
STREET TREES SPACED BETWEEN 25LF - 50 LF 1 TREE PER 10 PARKING SPACES (518 SPACES / 10 = 52 TREES)	YES YES 52 TREES 24 EXISTING TREES 28 PROPOSED TREES
ALL PARKING SPACES WITHIN 100 LF OF A TREE MAX 10 PARKING SPACES WITHOUT ISLAND	YES YES
SHRUBS - ARTICLE 8.7.3.D 1 SHRUB PER 50 SF REQUIRED LANDSCAPE AREA (100,629.69 SF / 50 = 2,013 SHRUBS) ALL SHRUBS MINIMUM 5 GALLONS PARKING LOT SCREENED WITH MINIMUM 3' HEDGE	2,013 SHRUBS 2,109 SHRUBS YES YES YES
NATIVE PLANT SPECIES	70% 83.04%
POLLINATOR PLANT SPECIES	20% 34.28%

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

Kimley»Horn
6100 WARREN PARKWAY, SUITE 210, FARGO, ND 58104
WWW.KIMLEY-HORN.COM
TEAS REGISTERED ENGINEERING FIRM #208

PRELIMINARY
FOR REVIEW ONLY
Kimley»Horn
P.L.L.C.
1100 W. WYOMING, SUITE 200, FARGO, ND 58103

SCALE AS SHOWN
DESIGNED BY
DRAWN BY
C.C.P.
CHECKED BY
C.A.P.

IL-TEXAS GRAND PRAIRIE
2851 RAGLAND RD
CITY OF GRAND PRAIRIE, TEXAS

OVERALL LANDSCAPE
PLAN

110
NO. 1
BER
LP 1.00

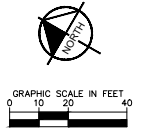
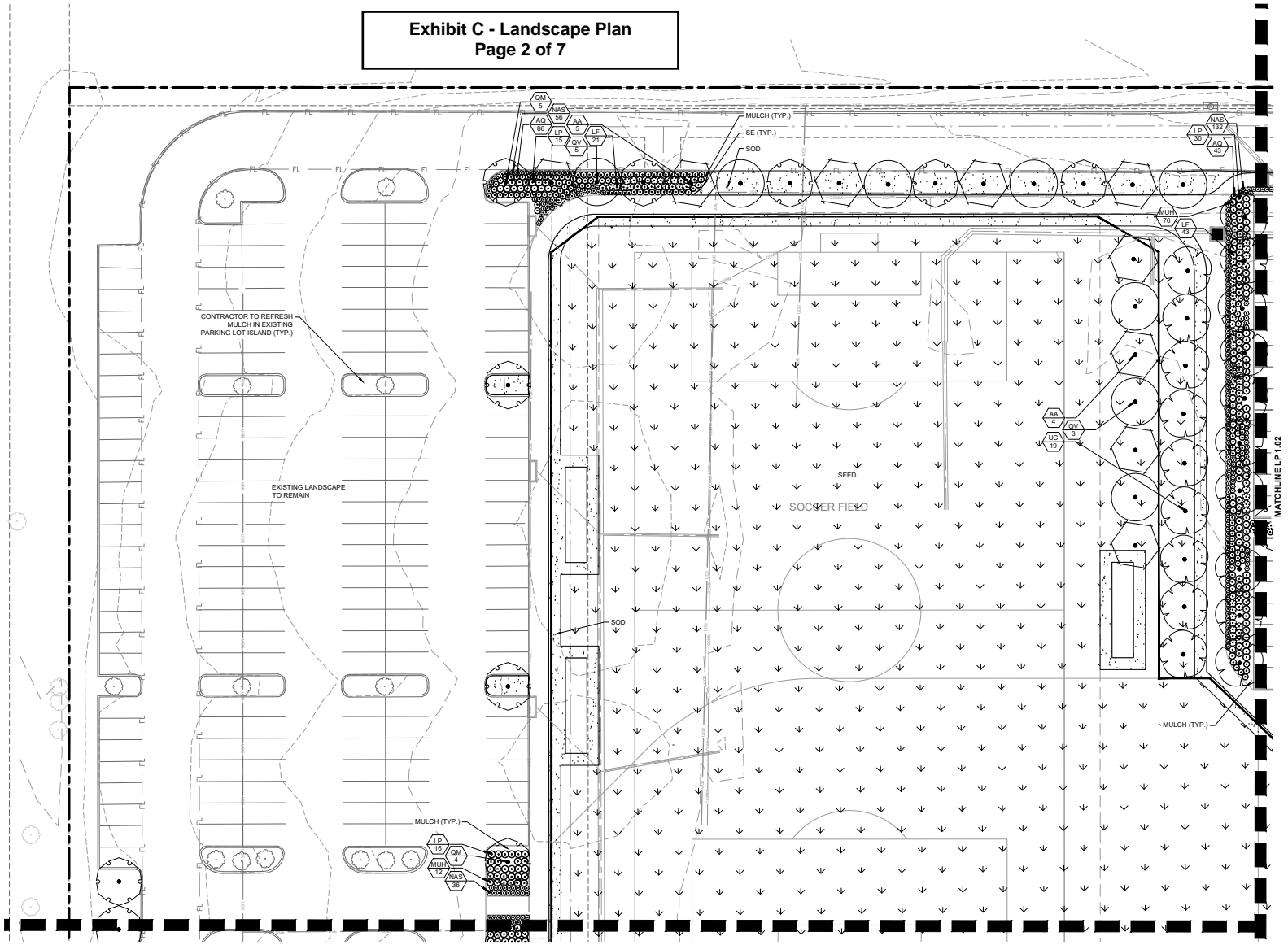
Prepared by: Kimley-Horn, Incorporated, 1100 W. Wyoming, Suite 200, Fargo, ND 58103. Date: 08/14/2024. File: 24081001.dwg. PLOT DATE: 08/14/2024. PLOT TIME: 10:56:39 AM. This drawing is the property of Kimley-Horn, Incorporated. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn, Incorporated. This drawing is the property of Kimley-Horn, Incorporated. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn, Incorporated.

Exhibit C - Landscape Plan
Page 2 of 7

PLANT LEGEND

TREES	CODE	QTY	COMMON NAME
	AA	31	AUTUMN BLAZE MAPLE
	GM	40	CHINKAPIN OAK
	OV	36	SOUTHERN LIVE OAK
	UC	42	CEDAR ELM
SHRUBS	CODE	QTY	COMMON NAME
	AQ	493	FLAME ACANTHUS
	LF	261	COMPACT TEXAS SAGE
	LP	332	PURPLE DIAMOND FRINGE FLOWER
GRASSES	CODE	QTY	COMMON NAME
	MUM	295	PRNK MURLEY
	NAS	718	MEXICAN FEATHER GRASS
GROUND COVERS	CODE	QTY	COMMON NAME
	SEED	198,051 SF	BERMUDA GRASS
	SOD	68,228 SF	BERMUDA GRASS
	SE	780	STEEL EDGE
	MULCH	780	SHRUBBED HARDWOOD MULCH
	EXIST	52	EXISTING TREE TO REMAIN

NOTE: REFERENCE SHEET LP 1.00 FOR FULL PLANT SCHEDULE



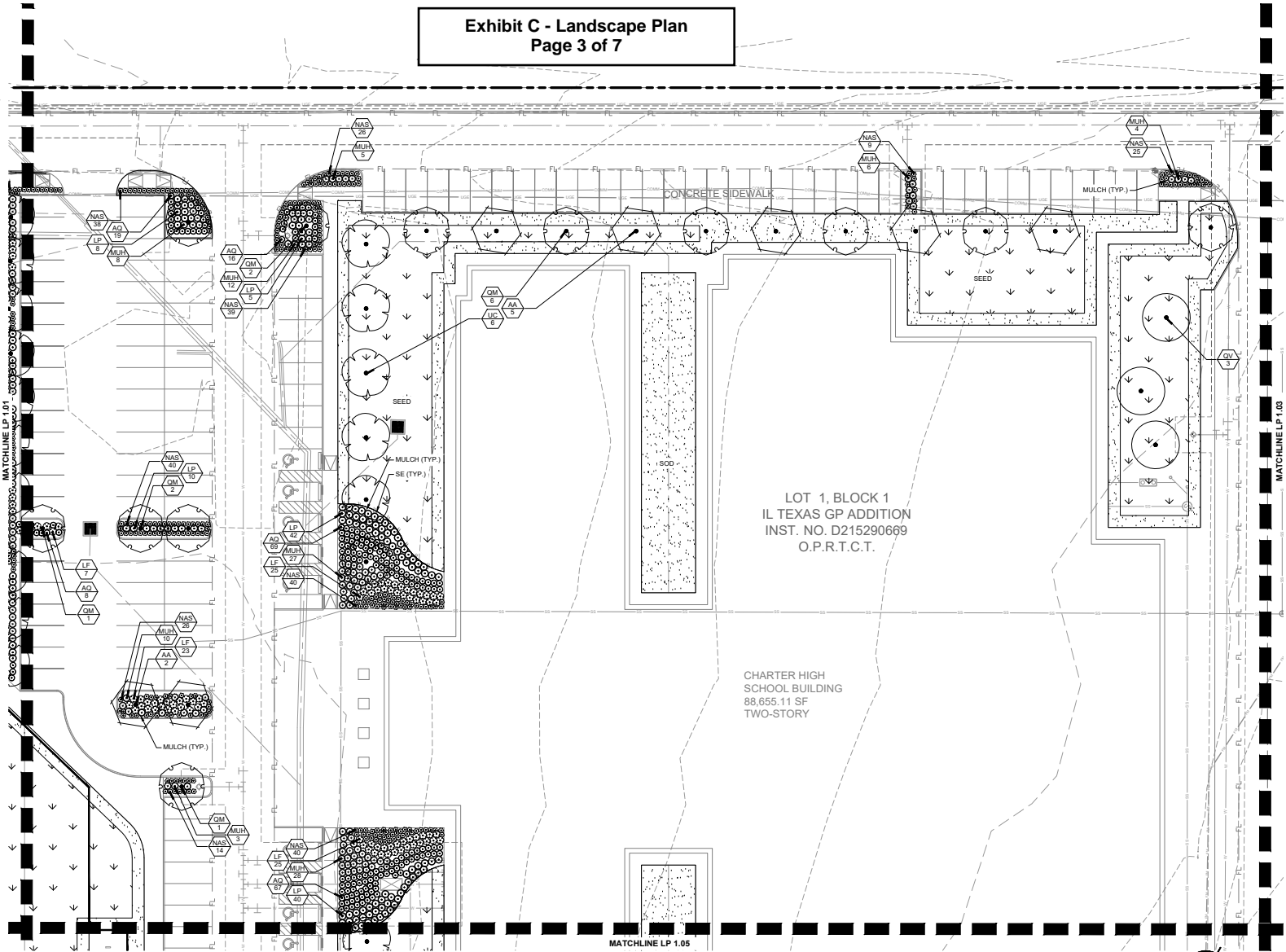
<p>Kimley»Horn 6100 WARREN PARKWAY, SUITE 210, FORT WORTH, TX 76104 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM #268</p>	NO.	REVISONS	DATE
<p>SCALE: AS SHOWN DESIGNED BY: [Signature] DRAWN BY: C.J.C. CHECKED BY: C.J.P.</p>	<p>PRELIMINARY FOR REVIEW ONLY NOT TO BE USED FOR CONSTRUCTION</p> <p>Kimley»Horn P.O. Box 10000, Fort Worth, TX 76100</p>		
<p>IL-TEXAS GRAND PRAIRIE 2851 RAGLAND RD CITY OF GRAND PRAIRIE, TEXAS</p>	<p>LANDSCAPE PLAN</p>		
<p>111</p>	<p>LP 1.01</p>		

Exhibit C - Landscape Plan
Page 3 of 7

PLANT LEGEND

TREES	CODE	QTY	COMMON NAME
	AA	31	AUTUMN BLAZE MAPLE
	QM	40	CHINCAPIN OAK
	QV	36	SOUTHERN LIVE OAK
	UC	42	CEDAR ELM
SHRUBS			
CODE	QTY	COMMON NAME	
AG	493	FLAME ACANTHUS	
LP	281	COMPACT TEXAS SAGE	
LF	352	PURPLE DIAMOND FRANGE FLOWER	
GRASSES			
CODE	QTY	COMMON NAME	
MUH	265	PRICK MURLEY	
NAS	718	MEXICAN FEATHER GRASS	
GROUND COVERS			
CODE	QTY	COMMON NAME	
SEED	198,051 SF	BERMUDA GRASS	
SOD	68,228 SF	BERMUDA GRASS	
SE	780	STEEL EDGE	
MULCH	780	SHRUBBED HARDWOOD MULCH	
EXIST	52	EXISTING TREE TO REMAIN	

NOTE: REFERENCE SHEET LP 1.00 FOR FULL PLANT SCHEDULE.

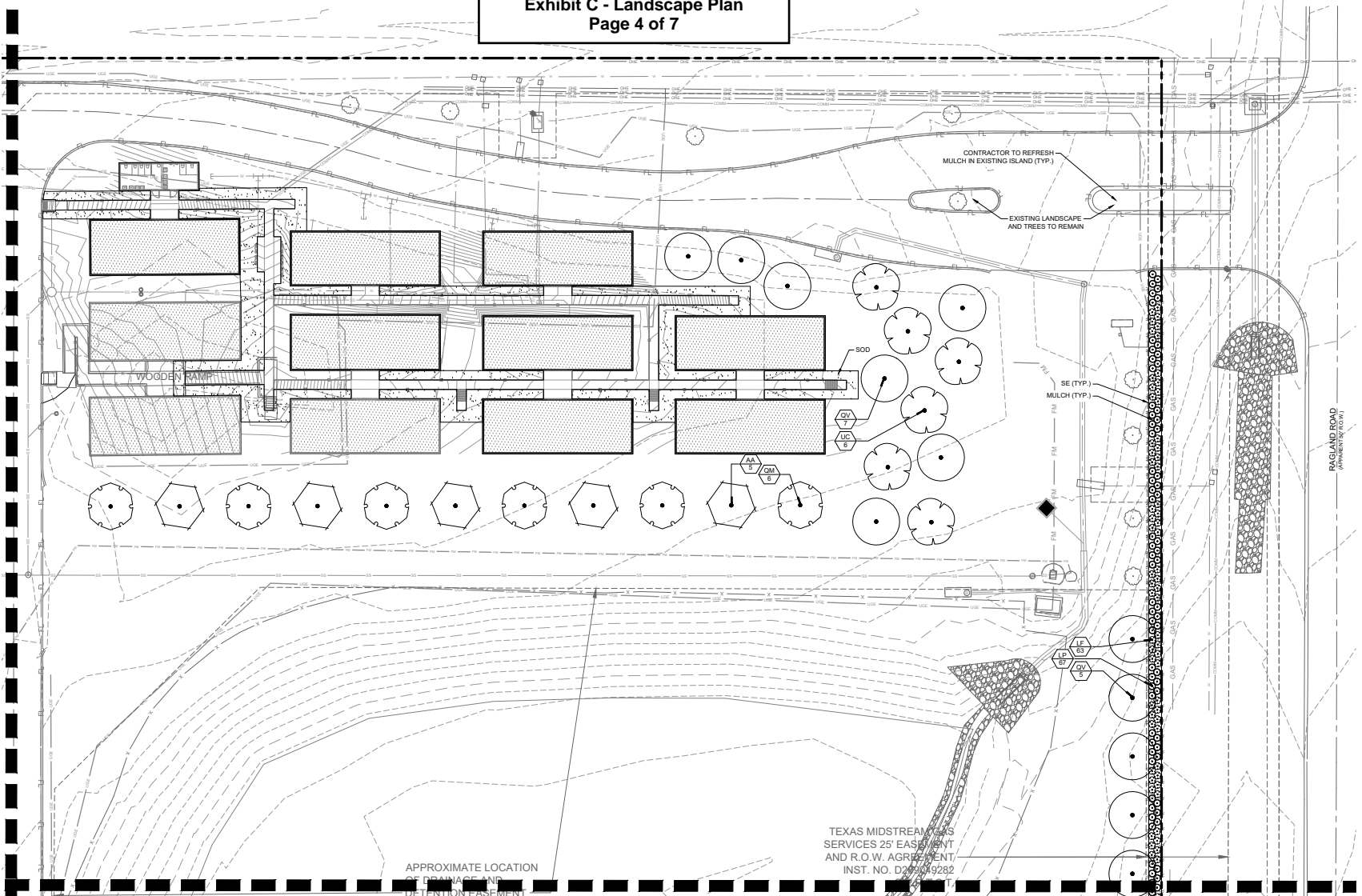


Prepared by: Kimley-Horn and Associates, Inc. 2025. All rights reserved. This drawing is the property of Kimley-Horn and Associates, Inc. and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn and Associates, Inc.

<p>Kimley-Horn</p> <p>610 WARDEN PARKWAY, SUITE 210, FARGO, ND 58103 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM #28</p>	<p>NO.</p> <p>REVISIONS</p> <p>DATE</p>
	<p>SCALE AS SHOWN</p> <p>DESIGNED BY</p> <p>DRAWN BY</p> <p>CHECKED BY</p> <p>DATE</p>
<p>PRELIMINARY</p> <p>Kimley-Horn</p> <p>P.O. BOX 1000, FARGO, ND 58103</p>	
<p>IL-TEXAS GRAND PRAIRIE</p> <p>2851 RAGLAND RD</p> <p>CITY OF GRAND PRAIRIE, TEXAS</p>	
<p>LANDSCAPE PLAN</p>	
<p>112</p> <p>BER</p> <p>LP 1.02</p>	

Exhibit C - Landscape Plan
Page 4 of 7

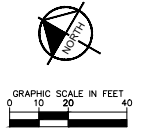
MATCHLINE LP 1.02



PLANT LEGEND

TREES			SHRUBS			GROUND COVERS		
CODE	QTY	COMMON NAME	CODE	QTY	COMMON NAME	CODE	QTY	COMMON NAME
AA	31	AUTUMN BLAZE MAPLE	AO	493	FLAME ACANTHUS	SEED	198,051 SF	BERMUDA GRASS
CM	40	CHICKAPIN OAK	LF	281	COMPACT TEXAS SAGE	SOD	68,228 SF	BERMUDA GRASS
OV	36	SOUTHERN LIVE OAK	LP	352	PURPLE DIAMOND FRINGE FLOWER	SE	TBD	STEEL EDGE
UC	42	CEDAR ELM	MMH	265	PINK MOHLY	MULCH	TBD	SHREDDED HARDWOOD MULCH
			NAS	718	MEXICAN FEATHER GRASS	EXIST	52	EXISTING TREE TO REMAIN

NOTE: REFERENCE SHEET LP 1.00 FOR FULL PLANT SCHEDULE.



Prepared by: Kimley-Horn and Associates, Inc. 2555 West Loop South, Suite 1000, Houston, Texas 77027
 Project: 2851 Ragland Road, City of Grand Prairie, Texas
 Date: 08/14/2024
 Drawn by: C.C. [unreadable]
 Checked by: J.P. [unreadable]
 Approved by: [unreadable]
 This document is the property of Kimley-Horn and Associates, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn and Associates, Inc.

PRELIMINARY

Kimley-Horn

FOR THE CITY OF GRAND PRAIRIE, TEXAS
 610 W. WASHINGTON STREET, SUITE 200, FARGO, ND 58103
 WWW.KIMLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM #208

REVISIONS

No.	DATE

SCALE AS SHOWN

DESIGNED BY: [unreadable]

DRAWN BY: C.C. [unreadable]

CHECKED BY: J.P. [unreadable]

DATE: 08/14/2024

IL-TEXAS GRAND PRAIRIE
 2851 RAGLAND RD
 CITY OF GRAND PRAIRIE, TEXAS

LANDSCAPE PLAN

113

LP 1.03

Project: 114 - 2851 Ragland Rd., Grand Prairie, TX 75042. Client: Kimley-Horn and Associates, Inc. 114 - 2851 Ragland Rd., Grand Prairie, TX 75042. Date: 08/14/2024. Scale: 1" = 10'-0".
 This document, together with the contract and any addendums, amendments, change orders, and other documents, shall constitute the entire agreement between the parties. No oral agreement or understanding shall be binding on the parties.

PLANT LEGEND

TREES	CODE	QTY	COMMON NAME
	AA	31	AUTUMN BLAZE MAPLE
	OM	40	CHICKAPIN OAK
	OY	36	SOUTHERN LIVE OAK
	UC	42	CEDAR ELM

SHRUBS	CODE	QTY	COMMON NAME
	AG	493	FLAME ACANTHUS
	LF	261	COMPACT TEXAS SAGE
	LP	352	PURPLE DIAMOND FRINGE FLOWER

GRASSES	CODE	QTY	COMMON NAME
	MUH	255	PINK MUHLY
	NAS	718	MEXICAN FEATHER GRASS

GROUND COVERS	CODE	QTY	COMMON NAME
	SEED	198,051 SF	BERMUDA GRASS
	SOD	68,228 SF	BERMUDA GRASS
	SE	780	STEEL EDGE
	MULCH	780	SHREDED HARDWOOD MULCH
	EXIST	52	EXISTING TREE TO REMAIN

NOTE: REFERENCE SHEET LP 1.00 FOR FULL PLANT SCHEDULE

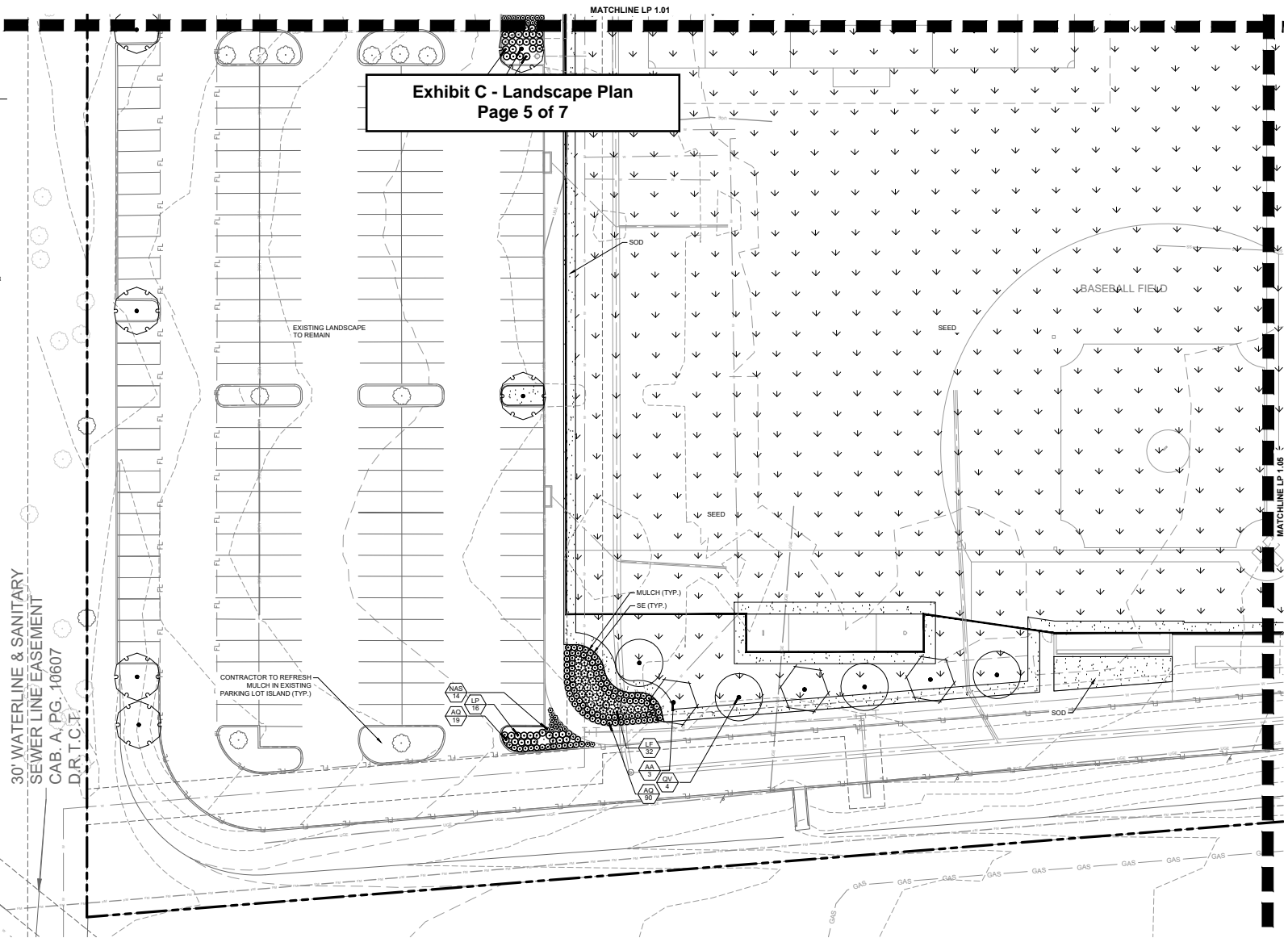


Exhibit C - Landscape Plan
 Page 5 of 7

<p>Kimley»Horn 6160 WARDEN PARKWAY, SUITE 210, FARGO, ND 58104 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM #28</p>	<p>PRELIMINARY Kimley»Horn P.L.L.C. 114 - 2851 RAGLAND RD., GRAND PRAIRIE, TX 75042</p>
<p>SCALE: AS SHOWN DESIGNED BY: [Blank] DRAWN BY: C.C. CHECKED BY: C.A.P.</p>	<p>NO. _____ REVISIONS _____ DATE _____</p>
<p>IL-TEXAS GRAND PRAIRIE 2851 RAGLAND RD CITY OF GRAND PRAIRIE, TEXAS</p>	
<p>LANDSCAPE PLAN</p>	
<p>114 SHEET NO. OF 114 NUMBER</p>	
<p>LP 1.04</p>	

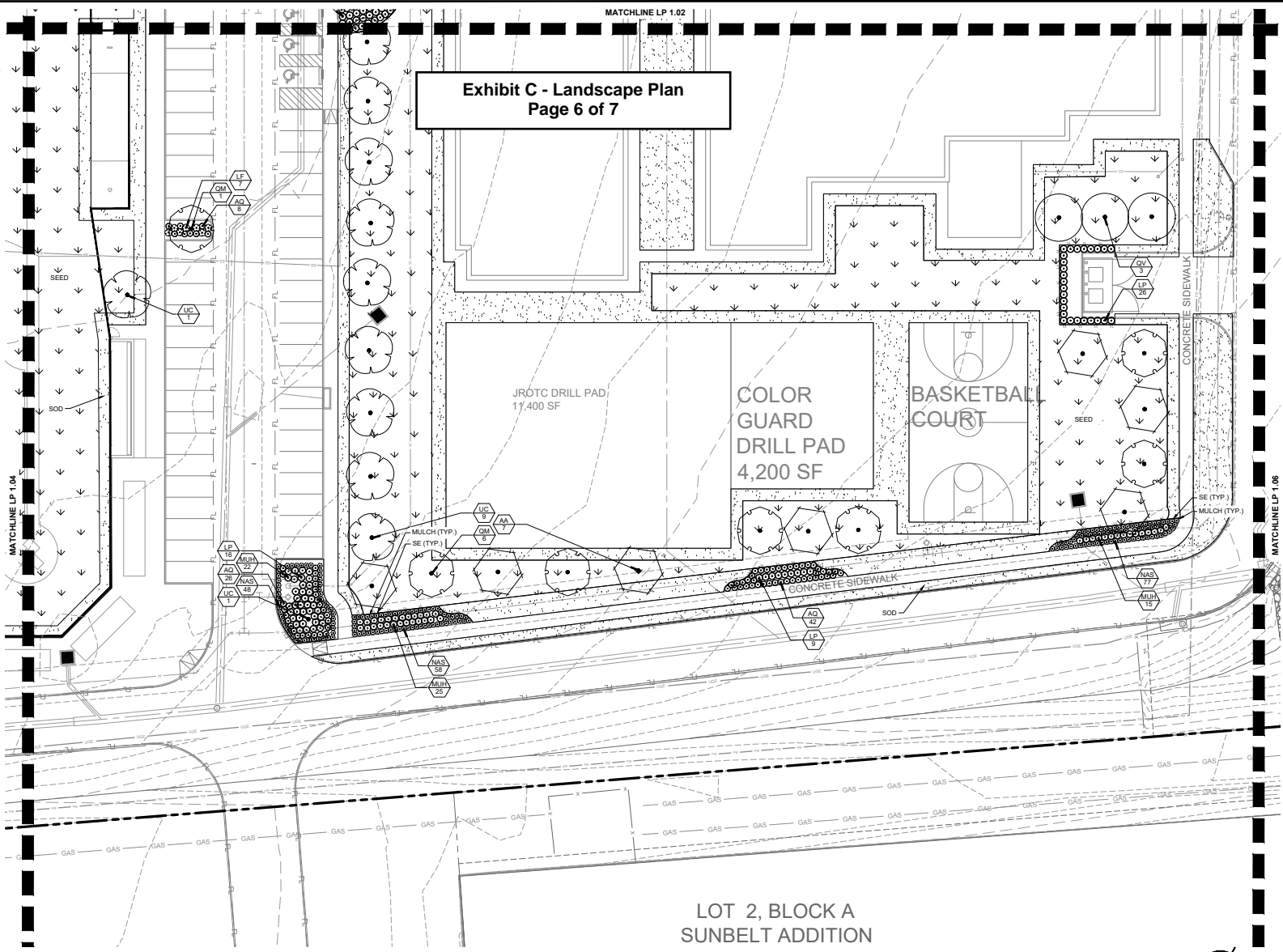
Prepared by: Kimley-Horn and Associates, Inc. Date: 01/15/2024. File: 2851 Ragland Rd. 15.0000.dwg. Project: 2851 Ragland Rd. City of Grand Prairie, Texas.

PLANT LEGEND

TREES	CODE	QTY	COMMON NAME
	AA	31	AUTUMN BLAZE MAPLE
	OM	40	CHINKAPII OAK
	OV	36	SOUTHERN LIVE OAK
	UC	42	CEDAR ELM
SHRUBS	CODE	QTY	COMMON NAME
	AQ	493	FLAME ACANTHUS
	LF	281	COMPACT TEXAS SAGE
	LP	352	PURPLE DIAMOND FRINGE FLOWER
GRASSES	CODE	QTY	COMMON NAME
	MNH	265	PINK MOHLY
	NAS	718	MEXICAN FEATHER GRASS
GROUND COVERS	CODE	QTY	COMMON NAME
	SEED	198,051 SF	BERMUDA GRASS
	SOD	68,228 SF	BERMUDA GRASS
	SE	TBD	STEEL EDGE
	MULCH	TBD	SHREDDED HARDWOOD MULCH
	EXST	52	EXISTING TREE TO REMAIN

NOTE: REFERENCE SHEET LP 1.00 FOR FULL PLANT SCHEDULE

**Exhibit C - Landscape Plan
Page 6 of 7**



Kimley»Horn	PRELIMINARY Kimley»Horn P.L.L.C. 1100 WEST WILSON ROAD, SUITE 200 DALLAS, TEXAS 75243 WWW.KIMLEY-HORN.COM	SCALE AS SHOWN	DESIGNED BY C.C.C.	DRAWN BY C.C.C.	CHECKED BY C.C.P.	DATE
IL-TEXAS GRAND PRAIRIE 2851 RAGLAND RD CITY OF GRAND PRAIRIE, TEXAS		LANDSCAPE PLAN		115		NO. 2 REV. 1 DATE
LOT 2, BLOCK A SUNBELT ADDITION						LP 1.05

Prepared by: Kimley-Horn and Associates, Inc. Date: 08/14/2024. Project: 24-0000000000 - Grand Prairie, High School, Landscape Architecture. This drawing is the property of Kimley-Horn and Associates, Inc. and is not to be used for any other project without the written consent of Kimley-Horn and Associates, Inc. All rights reserved.

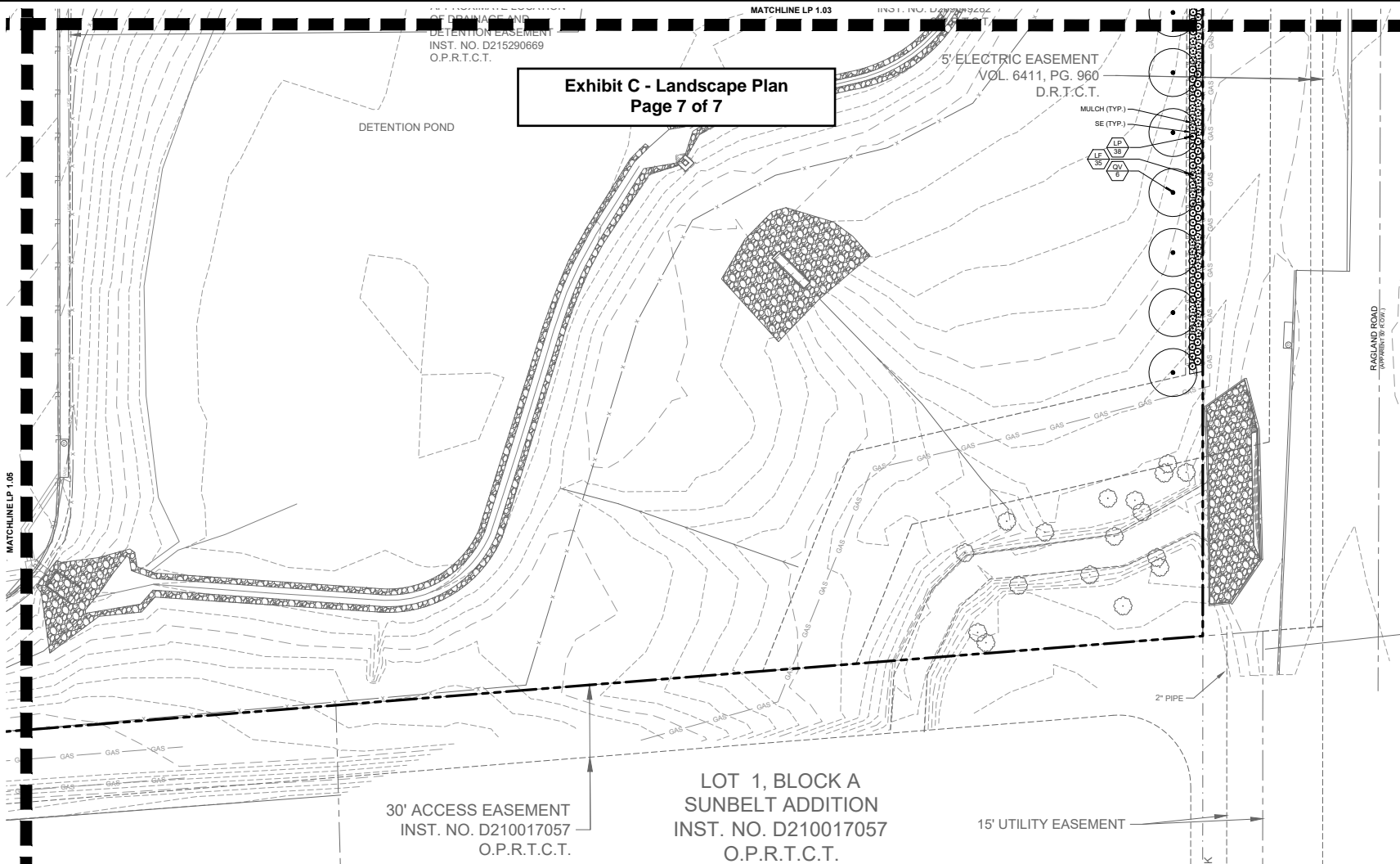


Exhibit C - Landscape Plan
Page 7 of 7

OF DRAINAGE AND
 DETENTION EASEMENT
 INST. NO. D215290669
 O.P.R.T.C.T.

5' ELECTRIC EASEMENT
 VOL. 6411, PG. 960
 D.R.T.C.T.

DETENTION POND

30' ACCESS EASEMENT
 INST. NO. D210017057
 O.P.R.T.C.T.

LOT 1, BLOCK A
 SUNBELT ADDITION
 INST. NO. D210017057
 O.P.R.T.C.T.

15' UTILITY EASEMENT

2" PIPE

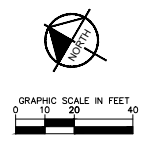
PLANT LEGEND

TREES	CODE	QTY	COMMON NAME
	AA	31	AUTUMN BLAZE MAPLE
	OM	40	CHINKAPII OAK
	OV	36	SOUTHERN LIVE OAK
	UC	42	CEDAR ELM

SHRUBS	CODE	QTY	COMMON NAME
	AD	493	FLAME ACANTHUS
	LF	281	COMPACT TEXAS SAGE
	LP	352	PURPLE DIAMOND FRINGE FLOWER
GRASSES	CODE	QTY	COMMON NAME
	MUH	265	PINK MUHLY
	NAS	718	MEXICAN FEATHER GRASS

GROUND COVERS	CODE	QTY	COMMON NAME
	SEED	198,051 SF	BERMUDA GRASS
	SOO	68,228 SF	BERMUDA GRASS
	SE	180	STEEL EDGE
	MULCH	180	SHREDDED HARDWOOD MULCH
	EXIST	52	EXISTING TREE TO REMAIN

NOTE: REFERENCE SHEET LP 1.00 FOR FULL PLANT SCHEDULE



PRELIMINARY FOR REVIEW ONLY NOT TO BE USED FOR CONSTRUCTION OR OTHER SERVICES.									
SCALE AS SHOWN DESIGNED BY DRAWN BY C.C. CHECKED BY C.A.P.									
IL-TEXAS GRAND PRAIRIE 2851 RAGLAND RD CITY OF GRAND PRAIRIE, TEXAS									
LANDSCAPE PLAN									
116									
LP 1.06									

STAMP

Project:
ARLINGTON - GRAND PRAIRIE HIGH SCHOOL REPLACEMENT
2851 RAGLAND ROAD, GRAND PRAIRIE, TEXAS

Revisions: Δ

Project No: 21-036
Date: 01/21/22
Checked By: CS, DH
Drawn By: AR

Sheet Name:

**BUILDING DESIGN -
OVERLAY DISTRICT**

Sheet No:

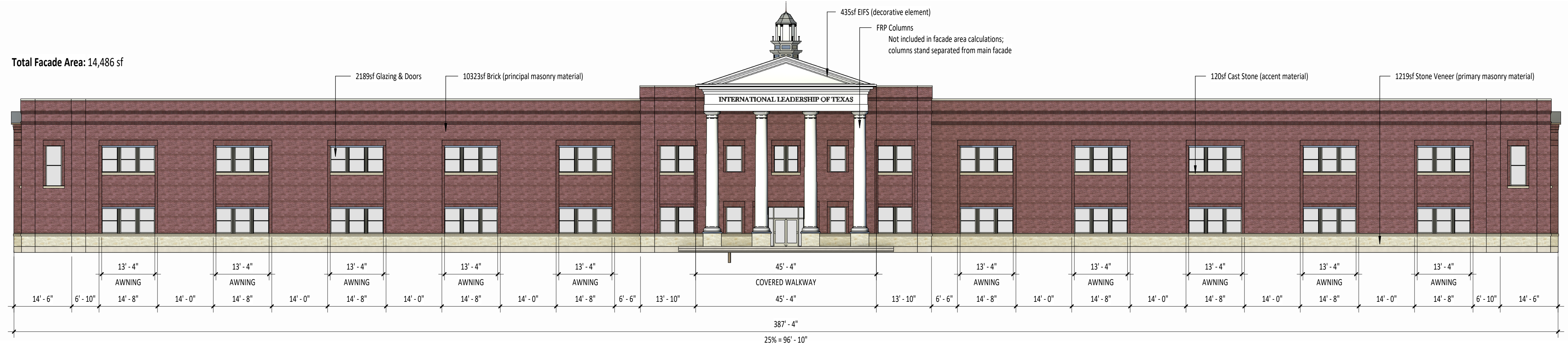
G3.00

Building Design Summary

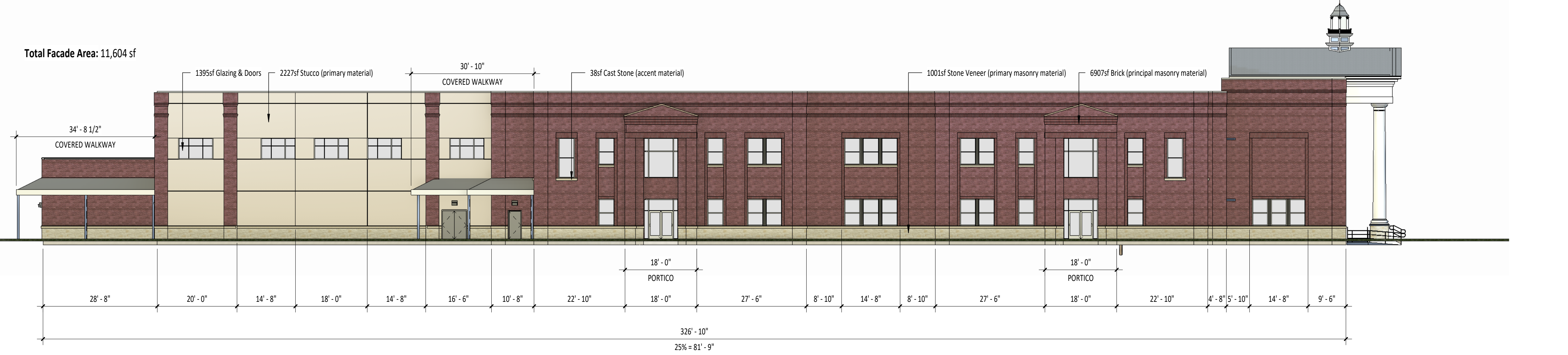
A Facade	Glazing & Doors Area	Finished Wall Area	Primary Material(s)		Accent Material(s)		Covered Walkway/Awning/Portico			
			Type	Area	% of Finished Wall	Type	Area	% of Finished Wall	Total Length	% of Facade Length
North (Primary) 14,486 sf	2,389 sf	12,097 sf	Brick Stone Veneer	10,323 sf 1,219 sf	84% 10%	EFS (decorative) Cast Stone	435 sf 120sf	4% 1%	178' - 8"	46%
East 11,806 sf	1,431 sf	10,375 sf	Brick Stucco Stone Veneer	6,907 sf 2,227 sf 1,001 sf	66% 21% 10%	Cast Stone	38 sf	4%	101' - 6"	31%
South 12,611 sf	955 sf	11,656 sf	Stucco Brick Stone Veneer	5,155 sf 5,096 sf 1,405 sf	44% 44% 12%				236' - 8"	65%
West 11,600 sf	1,287 sf	10,313 sf	Brick Stucco Stone Veneer	7,546 sf 1,632 sf 1,107 sf	73% 16% 11%	Cast Stone	28 sf	3%	100' - 0"	31%

Building Design Menu Items

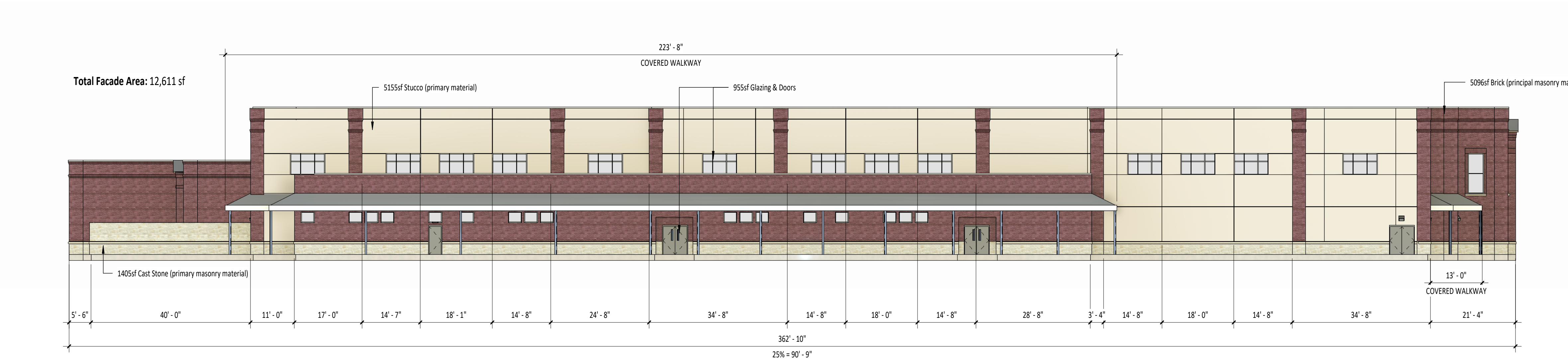
- Color Contrast**
Brick and stone will provide contrasting colors
- Corner Treatment**
Recess of stair tower, enhanced windows, and articulation of masonry at corners provide emphasis
- Articulated Public Entrance**
Projected facade, double doors, and steps articulate the main entrance
- Articulation Elements**
Windows bays provide fenestration, change in texture (with brick coursing), and material change (with metal panels) for articulation
- Enhanced Windows**
Multiple types of windows provided on each facade
- Design Elements**
Variation in brick coursing and projection is used to create lintels and banding, and recession of the side entrances create overhanging eaves



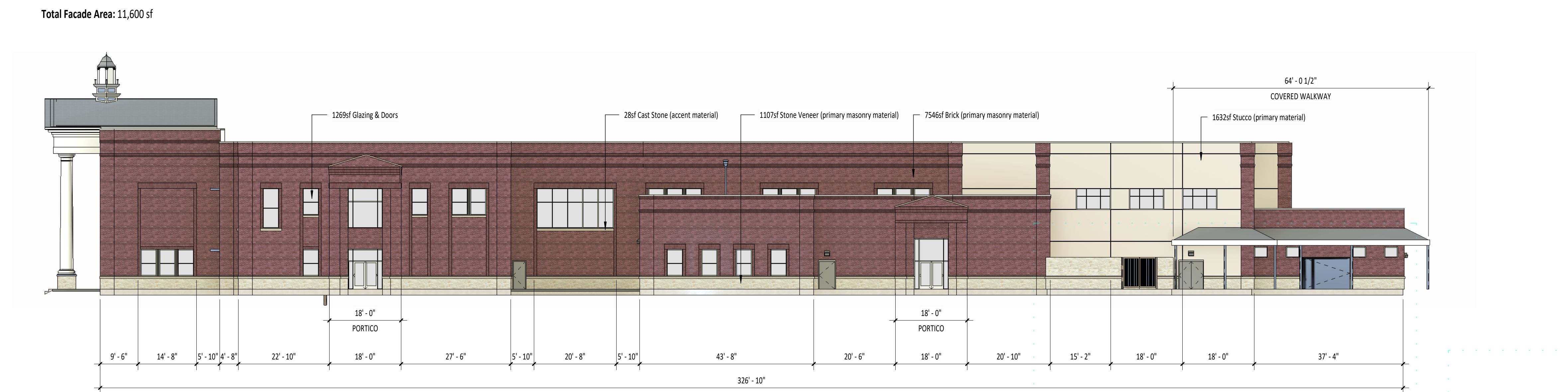
B2 North Elevation (Primary)
G3.00 1/16" = 1'-0"



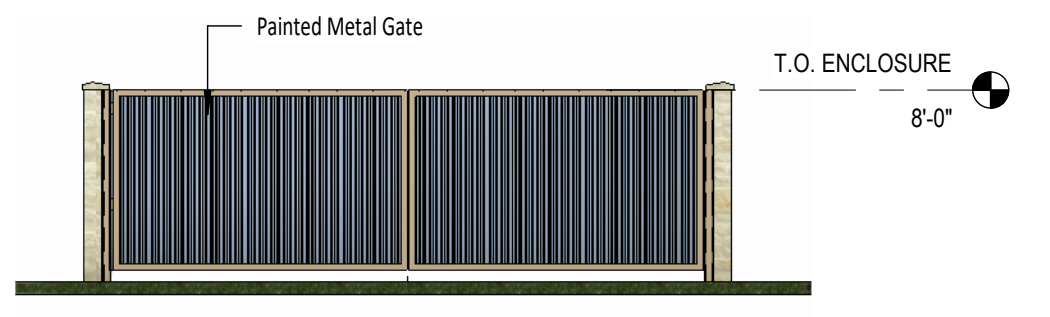
C2 East Elevation
G3.00 1/16" = 1'-0"



D2 South Elevation
G3.00 1/16" = 1'-0"



E2 West Elevation
G3.00 1/16" = 1'-0"



B1 Dumpster Enclosure - Front
G3.00 1/8" = 1'-0"



C1 Dumpster Enclosure - Side
G3.00 1/8" = 1'-0"



D1 Dumpster Enclosure - Rear
G3.00 1/8" = 1'-0"

DD SET - NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: STP-22-01-0027 - Site Plan - Retail F at Epic East Towne Crossing (City Council District 2). Site Plan for a 12,000 sq. ft. building for retail and restaurant uses on 1.960 acres. Lot 11, Block A, Epic East Towne Crossing Phase II, City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH 161 Corridor Overlay District, and addressed as 3142 S HWY 161 (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)

APPLICANT: Matt McAuliff, Winkelmann & Associates

RECOMMENDED ACTION: Approve

SUMMARY:

Site Plan for a 12,000 sq. ft. building for retail and restaurant uses on 1.960 acres. Lot 11, Block A, Epic East Towne Crossing Phase II, City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH 161 Corridor Overlay District, and addressed as 3142 S HWY 161.

PURPOSE OF REQUEST:

The applicant intends to construct a 12,000 sq. ft. building for retail and restaurant uses in the Epic East Towne Crossing development. Site Plan approval by City Council is required for any project within an overlay district or planned development district. Site Plan approval is required for this project because it is located within the SH 161 Corridor Overlay District and zoned PD-364.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	Planned Development PD-364	Creek, Undeveloped
South	Planned Development PD-364	Parking Lot, Kohl's
West	Planned Development PD-364	SH 161, Longhorn Steakhouse
East	Planned Development PD-91	Undeveloped

HISTORY:

- December 2, 2019: The Planning and Zoning Commission approved a Replat for Epic East Towne Crossing, Phase II (Case Number P191202).
- September 11, 2017: The Planning and Zoning Commission approved a Final Plat for Epic East Towne Crossing Phase 1 (Case Number P170903).
- August 7, 2017: The Planning and Zoning Commission approved a Preliminary Plat for Epic East Towne Crossing Phase 1 (Case Number P170804).
- July 18, 2017: City Council approved PD-364, a planned development for commercial and multi-family uses (Case Number Z170401).

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The developer intends to construct a 12,000 sq. ft. building with multiple tenant spaces for restaurant and retail uses. At this time, the developer has not announced names of any future tenants. The proposal is part of the Epic East Towne Crossing development, which provides access to the site via a network of mutual access drives from SH 161, Mayfield Rd, and Warrior Trl. The site does not have direct access from SH 161.

The site plan includes the building, parking spaces, drive aisles, and a dumpster enclosure.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The property is subject to density and dimensional requirements in Article 6 of the Unified Development Code (UDC). The following table summarizes these requirements. The proposal meets the density and dimensional requirements.

Table 2. Site Data Summary

Standard	Required	Proposed	Compliance
Min. Lot Area (Sq. Ft.)	5,000	85,372	Yes
Min. Lot Width (Ft.)	50	241	Yes
Min. Lot Depth (Ft.)	100	345	Yes
Front Setback (Ft.)	25	25	Yes
Rear Setback (Ft.)	0	0	Yes
Side Setback (Ft.)	10	10	Yes
Max. Height (Ft.)	25	25	Yes
Max. Floor Area Ratio (FAR)	0.5:1	0.14:1	Yes

Parking Requirements

The property is subject to parking requirements in Article 10 of the UDC. The following table summarizes these requirements. The proposal meets the parking requirements.

Table 3. Parking Summary

Standard	Required	Proposed	Meets
Restaurant Parking (1 space per 100 Sq. Ft.) Retail Parking (1 space per 275 Sq. Ft.)	110	110	Yes

Landscape and Screening

The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC. The table below summarizes these requirements. The proposal meets or exceeds the landscape and screening requirements.

Table 4. Landscape & Screening Requirements

Standard	Required	Provided	Meets
Landscape Area (%)	10% (8,537 Sq. Ft.)	17% (14,316 Sq. Ft.)	Yes
Front Yard 75% of Required Landscape in Front Yard	Yes	Yes	Yes
Total Street, Buffer, Parking, and Pedestrian Walkway Trees	28	28	Yes
Shrubs (1 5-gallon shrub per 50 Sq. Ft. of required landscape area)	171	174	Yes
Landscape Buffer (Ft.)	30	30	Yes

Building Design

The exterior building materials include stone, two types of brick, texture coated tilt wall panels, and metal accents. The proposed elevations include 30% glazing on the west facade, which meets the window requirement for street-facing facades, and windows along 47% of the combined length of all facades, which substantially complies with the total windows requirement in Appendix F and exceeds what is required by PD-364. The proposed design uses changes in materials and textures, building articulation, and a combination of awnings and canopies to create visual interest.

Appendix F Checklist

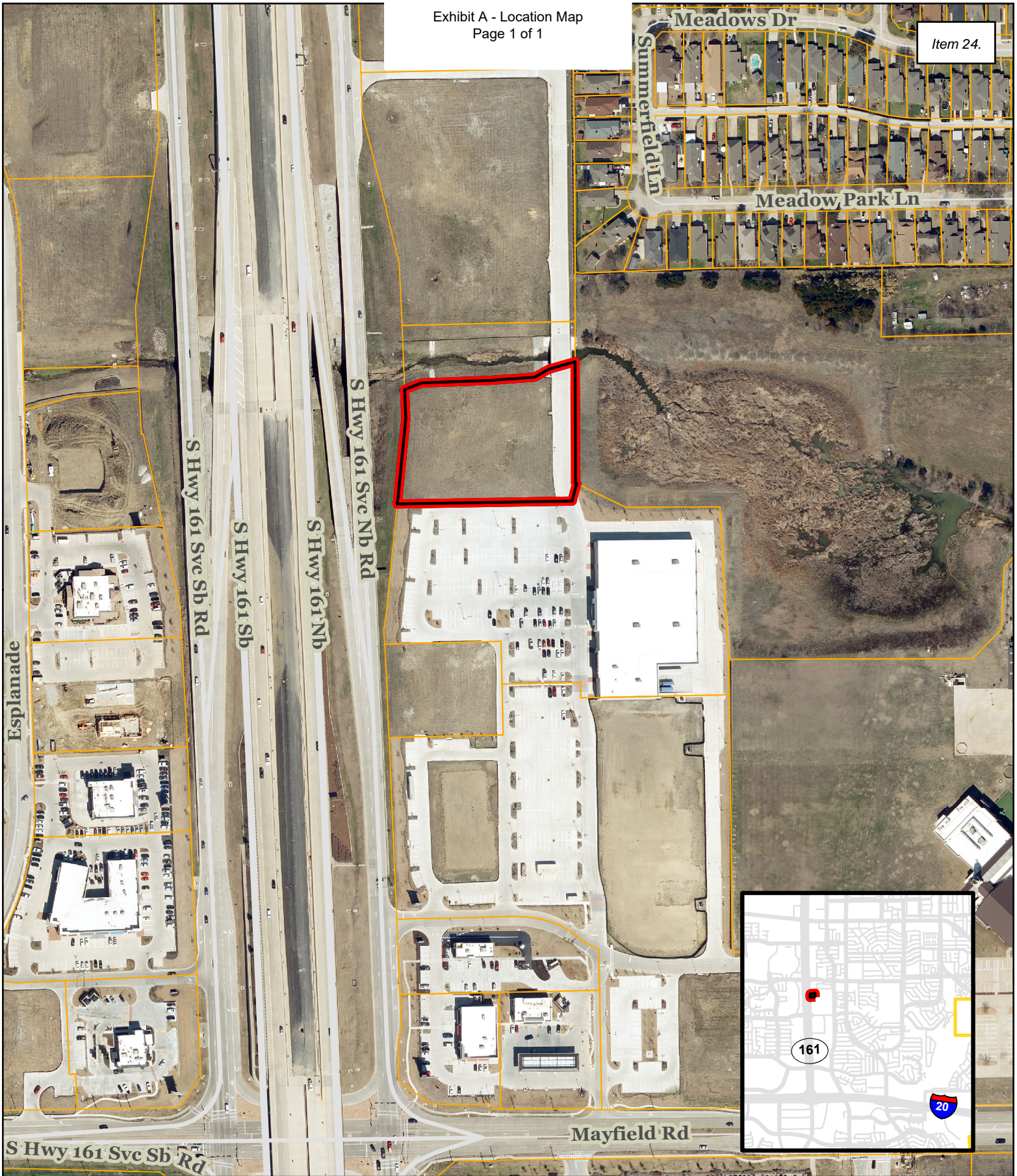
Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways, Site Design and Building Orientation, Building Design, and Healthy, Smart, and Sustainable Community. The proposal includes 12.5 Menu Items and meets the Appendix F Menu Items requirements. Selected Menu Items include native plants, pollinator friendly flowers, a recycling program, materials mix, articulated public entrance, and a park once environment.

VARIANCES:

The applicant is not requesting any variances.

RECOMMENDATION:

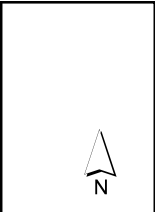
- On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0.
- The Development Review Committee (DRC) recommends approval.



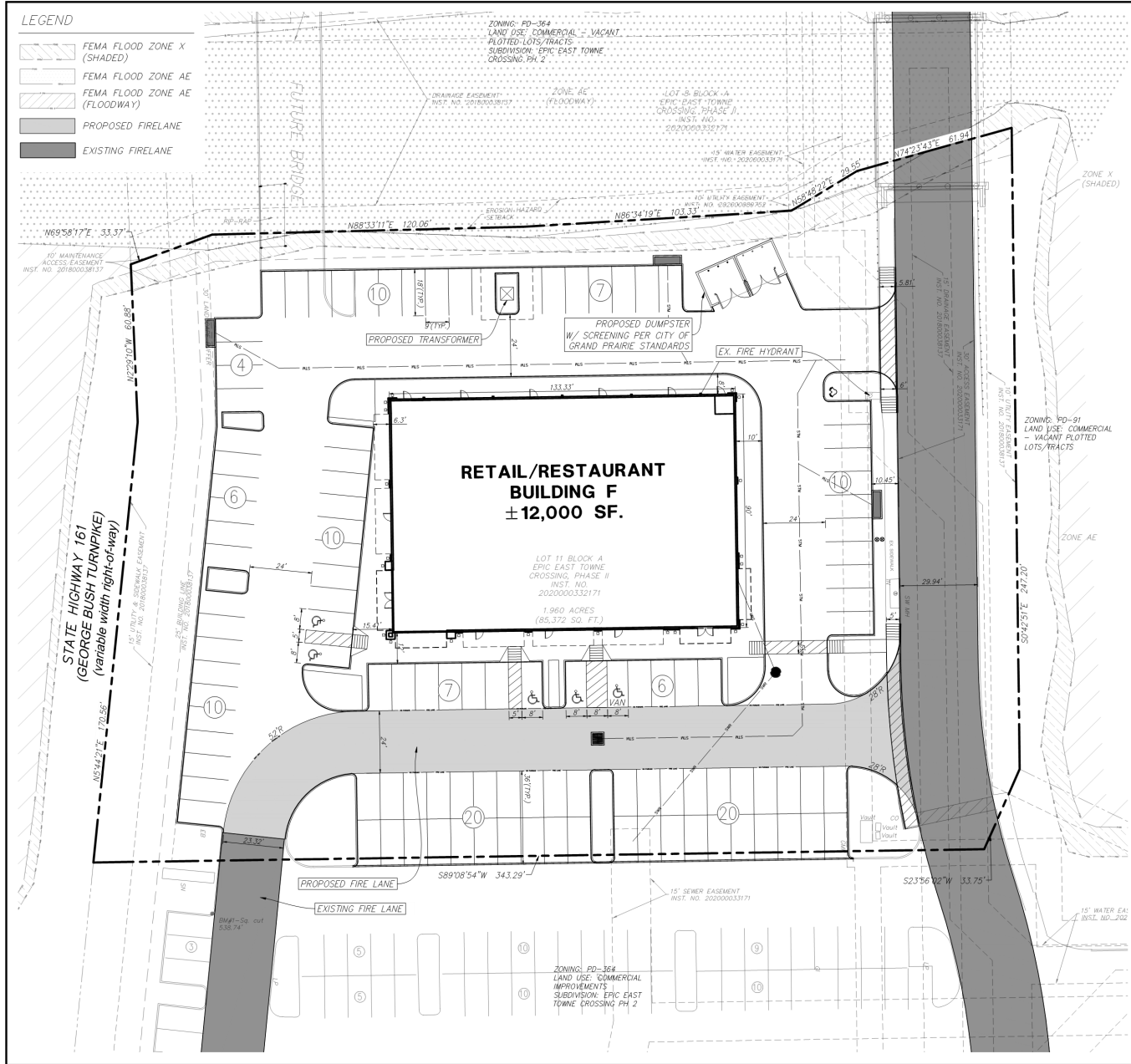
Item 24.



CASE LOCATION MAP
STP-22-01-0027 - Site Plan
3142 S Hwy 161 -
Retail/Restaurant

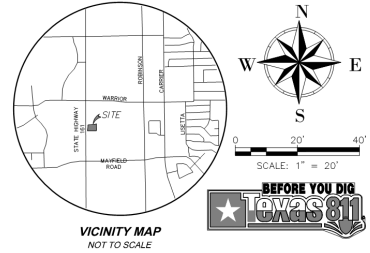


City of Grand Prairie
Development Services
(972) 237-8255
www.gptx.org



LEGEND

[Hatched Box]	FEMA FLOOD ZONE X (SHADED)
[Hatched Box]	FEMA FLOOD ZONE AE (FLOODWAY)
[Solid Grey Box]	PROPOSED FIRELANE
[Dotted Grey Box]	EXISTING FIRELANE



FLOOD NOTE

According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48113C0435M, dated March 21, 2019, revised per LOMR, Case Number 19-06-2040P, Effective Date March 06, 2020, this property is within Flood Zone AE & X.

Zone AE - Special Flood Hazard Area, base flood elevation determined.

Zone AE - The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood height.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

Zone X (Shaded) - Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

GPS MONUMENTS - CITY OF GRAND PRAIRIE 2016 UPDATE:

GPS MONUMENT NO. 38 - The station is a top security rod monument with aluminum cap stamped "GPS 38" set in well with an aluminum access cover (missing) set flush with ground near a witness marker. Station is located approximately 85 feet east of the centerline of Waterwood Drive and approximately 42 feet north of the centerline of Mayfield Road, Mappoco 61-e.

NORTHING: 6,937,638.01
EASTING: 2,420,360.82
ELEVATION: 564.65

GPS MONUMENT NO. 39 - The station is a top security rod monument aluminum cap stamped "GPS 39" set in well with an aluminum access cover set flush with ground. Station is located approximately 188 feet south of the southeast corner of the intersection of Warrior Trail and Corridor Parkway, 59 feet west of building corner and 26 feet northwest from a 4' elm tree, Mappoco 61-c.

NORTHING: 6,939,962.42
EASTING: 2,425,173.64
ELEVATION: 526.61

BENCH MARKS:

BM#1 - Square cut, top of curb to concrete drive, ±20.4 feet South of the South lot line for Lot 11, Block A and ±47.5 feet East of the East right-of-way of State Highway 161.
ELEVATION - 538.74 feet

BM#2 - Square cut, Southwest corner of curb inlet, ±140.3 feet West of the East lot line of Lot BR, Block A, and ±39.0 feet South of the North lot line of Lot BR, Block A.
ELEVATION - 532.28 feet

SITE DATA TABLE	
LOT SIZE	Lot 11 Block A 1,960 ACRES
SITE AREA IN 100 FLOOD PLAIN	85,372 SF 0.035 ACRES
ZONING	
EXISTING ZONING	C
EXISTING LAND USE	VACANT
PROPOSED LAND USE	RETAIL/RESTAURANT
USE / BUILDING AREA	
RETAIL	1,750 SF - 14.6%
RESTAURANT	10,250 SF - 85.4%
WAREHOUSE	0 SF - 0%
TOTAL	12,000 SF
BUILDING COVERAGE	14.06%
FLOOR AREA RATIO	0.14-1
IMPERVIOUS COVER CALCULATIONS	
IMPERVIOUS AREA	1,492 ACRES
TOTAL LANDSCAPE REQUIRED	64,977 SF
TOTAL LANDSCAPE PROVIDED	23,89%
PARKING	
RETAIL (1 PER 275 S.F.)	7 SPACES
RESTAURANT (1 PER 100 S.F.)	103 SPACES
PARKING PROVIDED TOTAL	110 SPACES
PROVIDED PARKING RATIO	1/110
HANDICAP PROVIDED	5 SPACES
HANDICAP PROVIDED	5 SPACES

NOTES:

- TYPICAL PARKING SPACES ARE 9'x18' UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PROPOSED PAVING IS CONCRETE
- ALL PROPOSED RADII ARE 2' UNLESS OTHERWISE NOTED.

OWNER/DEVELOPER INFORMATION
EPIC EAST TOWNE CROSSING, L.P.
16000 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75248
PHONE: 972-739-8484
CONTACT: MARK DAVIS
EMAIL: MARK.DAVIS@WEBERANDCOMPANY.COM

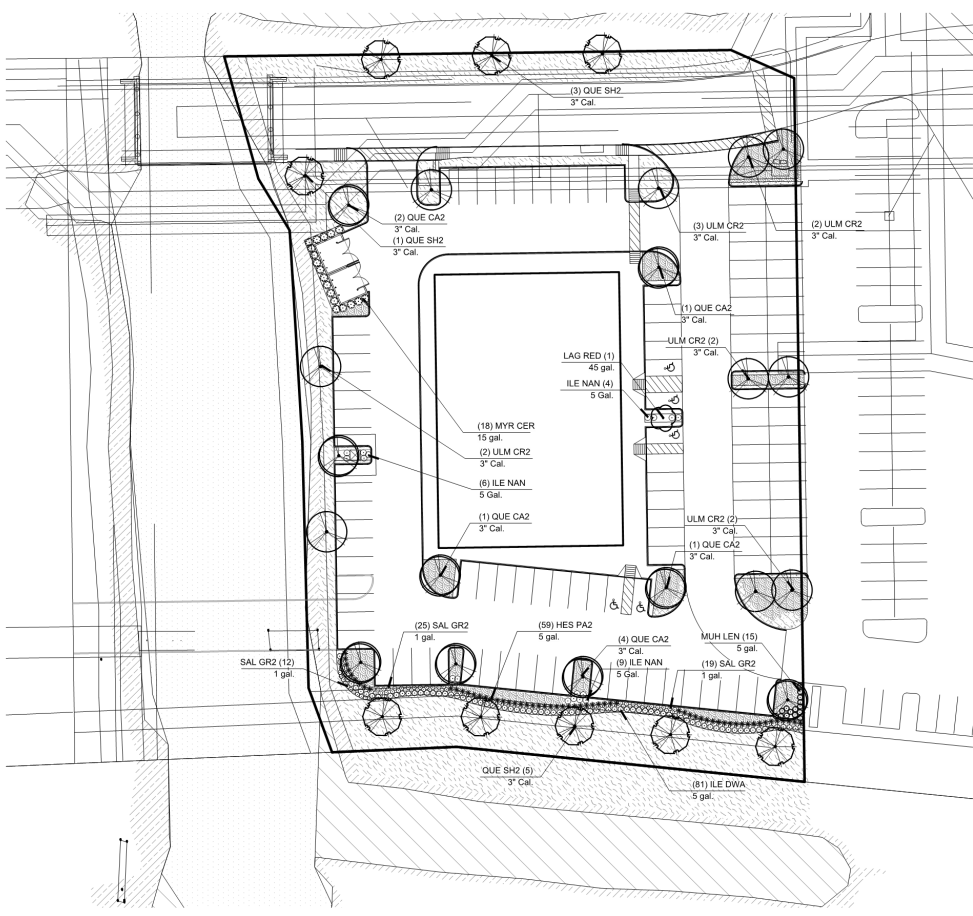
APPROVAL	DATE
REVISION	DATE
NO. 1	DATE
NO. 2	DATE
NO. 3	DATE
NO. 4	DATE
NO. 5	DATE

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS • SURVEYORS
1600 W. HUNTER ROAD, SUITE 100, GRAND PRAIRIE, TX 75050
PHONE: 972-481-3888 FAX: 972-481-3889
WWW.WINKELMANN-AND-ASSOCIATES.COM

10-28-2022

SITE PLAN
LOT 11 @ EPIC EAST TOWNE CROSSING
3142 S. HWY 161
GRAND PRAIRIE, TEXAS

C-02.00



- PLANTING NOTES:**
1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
 3. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
 4. ALL PLANTS WELL-KNOWN AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
 5. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
 6. MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
 7. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
 8. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
 9. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
 10. EXISTING TREES ARE SHOWN TO REMAIN. CONTRACTOR SHALL PRUNE ONLY ON APPROVAL OF CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH, DEAD AND DISEASED BRANCHES AND LIMBS, VINES, BRIARS AND OTHER INVASIVE GROWTH, AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 11. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
 12. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS FILE ALL CORNERS SMOOTH.
 13. INSTALL CURB/EL BLANKET (OR EQUIV) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUNDCOVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
 14. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
 15. 1"-3" ROCK MULCH WITHIN BUILDING PAD AREA, PERIPHERAL AREAS AND PARKING LOT ISLANDS SHALL HAVE 3" OF HARDWOOD MULCH BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
 16. PRIOR TO PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

CITY OF GRAND PRAIRIE LANDSCAPE REQUIREMENTS		
AREA	15% OF SITE REQUIRED TO BE LANDSCAPE	
MIN. LANDSCAPE AREA	REQUIRED	PROVIDED
	8,541 SF x 10% = 8,541 SF	14,316 SF (17%)
MIN FRONT YARD LANDSCAPE	REQUIRED	PROVIDED
	75% OF REQUIRED LANDSCAPE IN FRONT YARD	8,541 SF x 75% = 6,406 SF
STREET & BUFFER TREES	REQUIRED	PROVIDED
	1 TREE PER EACH 50' OF STREET FRONTAGE 250' x 50' = 12,500'	5 TREES
PARKING LOT TREES	REQUIRED	PROVIDED
	LANDSCAPE ISLAND WITH TREE 1 FOR EVERY 10 SPACES	115 SPACES / 11 = 23 TREES
PEDESTRIAN WALKWAY TREES	REQUIRED	PROVIDED
	ONE TREE EVERY 20'	N/A
TOTAL TREES	REQUIRED	PROVIDED
	TOTAL STREET BUFFER, PARKING AND PEDESTRIAN TREES	5+23+2 = 28 TREES
SITE SHRUBS	REQUIRED	PROVIDED
	1 SHRUB PER EACH 50 SF OF RED LANDSCAPE 8,541 SF / 50' = 171 SITE SHRUBS	171 5-GAL SHRUBS

75% OF PLANT SPECIES ARE NATIVE PLANTS
NOTE:
SITE SHALL BE IRRIGATED IN ACCORDANCE WITH CITY OF GRAND PRAIRIE LANDSCAPE ORDINANCE, SECTION VIII.7.6.
SITE WILL INCLUDE AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH RAIN, WIND & FREEZE SENSOR, DESIGNED AND INSTALLED BY A TEXAS LICENSED IRRIGATOR.
ALL LAWN AREA SHALL BE SOLO BERMUDA SOOD

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	LAG RED	1	Lagerstroemia indica x fauriei 'Tuscarora'	Tuscarora Crape Myrtle Multi-Trunk	45 gal.	6' Min Ht	As Shown	3 to 5 Canes
	QUE SH2	9	Quercus shumardii	Shumard Oak	3" Cal.	12' Height Min	As Shown	Native
	QUE CA2	9	Quercus virginiana 'SDUN' TM	Cathedral Live Oak	3" Cal.	12' Height Min	As Shown	Native
	ULM CR2	10	Ulmus crassifolia	Cedar Elm	3" Cal.	12' Height Min	As Shown	Native
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	HES PA2	60	Hebeaena parviflora	Red Yucca	5 gal.	36" O.C.	Native, Pollinator	
	ILE DWA	81	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	5 gal.	18"-24"	36" O.C.	Native, Pollinator
	ILE NAN	18	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	5 gal.	18"-24"	36" O.C.	Native, Pollinator
	MUH LEN	15	Muhlenbergia lindheimeri 'Lena' TM	Autumn Glow Lindheimer's Muhly	5 gal.	18"-24"	36" O.C.	Native
	MYR CER	18	Myrica cerifera	Wax Myrtle	15 gal.	48"	48" O.C.	Native
	SAL GR2	57	Salvia greggii	Autumn Sage	1 gal.	18"-24"	24" O.C.	Native, Pollinator
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	CYN DAZ	16,508 sf	Cynodon dactylon	Bermuda Grass	Solid Sod			
	NAS TEN	713	Nassella tenuissima	Mexican Feather Grass	4" pots		24" O.C.	Native
	SAL AUG	19	Salvia farinacea 'Augusta Duetberg'	Augusta Duetberg Mealy Sage	1 gal.		24" O.C.	Native, Pollinator
	SAL HEN	8	Salvia farinacea 'Henry Duetberg'	Henry Duetberg Mealy Sage	1 gal.		24" O.C.	Native, Pollinator
	SAN CH2	30	Santolina chamaecyparissus	Lavender Cotton	4" pots		24" O.C.	Native, Pollinator

REFERENCE NOTES SCHEDULE

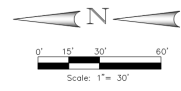
SYMBOL	DESCRIPTION	QTY	DETAIL
	Composite Edging	248 lf	

NOTE:

- NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AND SHALL MAINTAIN THE LANDSCAPING FOR 90 DAYS PAST THE FINAL INSPECTION.

TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. SOIL TURF IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.

CAUTION!!!
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-8377
TEXAS ONE CALL SYSTEMS 1-800-249-4540
LONG STAR NOTIFICATION CENTER 1-800-689-8344 EXT. 5



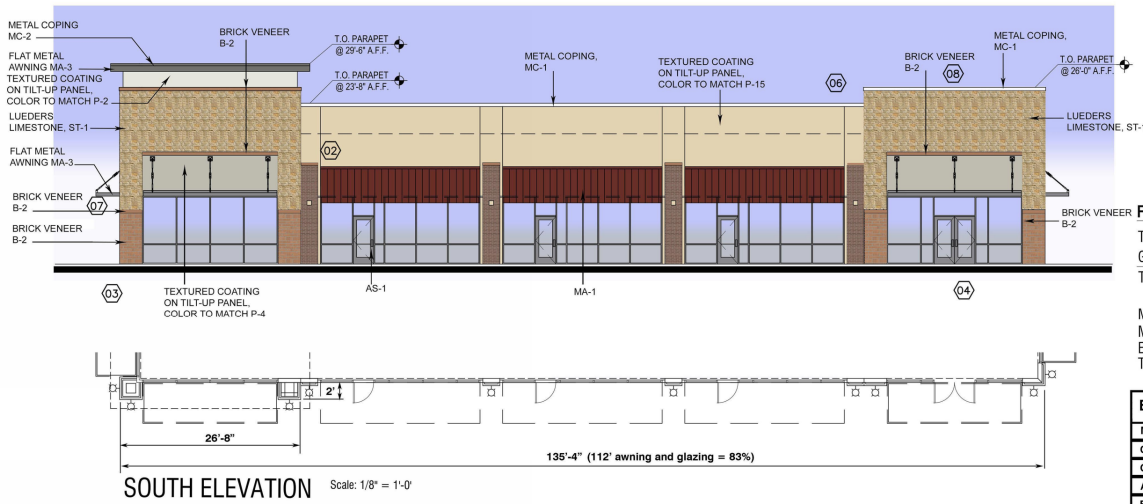
THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GEORGY CUPPETT, LICENSED IRRIGATOR & LANDSCAPE ARCHITECT (LICENSED PROFESSIONAL NUMBER 00000). LANDSCAPE ARCHITECT REGISTRATION NUMBER: 00000. THIS DRAWING IS THE PROPERTY OF FAIN + CUPPETT ARCHITECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. THE USER OF THIS DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE. THIS IS SUBJECT TO THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE RULES AND REGULATIONS OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE. THIS IS SUBJECT TO THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS AND THE RULES AND REGULATIONS OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE WRITTEN APPROVAL OF FAIN + CUPPETT ARCHITECTS, LLC.

STP-22-01-0027
LANDSCAPE PLAN

WinkeImann & Associates, Inc.
1425 W. 14th Street, Suite 110
Irving, TX 75039
Phone: 972-251-1111
Fax: 972-251-1112
E-mail: info@winkeImann.com
www.winkeImann.com
Professional Engineer Registration No. 16786-0001
Professional Engineer Registration No. 16786-0002
Professional Engineer Registration No. 16786-0003
Professional Engineer Registration No. 16786-0004
Professional Engineer Registration No. 16786-0005
Professional Engineer Registration No. 16786-0006
Professional Engineer Registration No. 16786-0007
Professional Engineer Registration No. 16786-0008
Professional Engineer Registration No. 16786-0009
Professional Engineer Registration No. 16786-0010

LANDSCAPE PLAN
LOT 11 @ EPIC EAST TOWNE CROSSING
GRAND PRAIRIE, TEXAS

1-1



FAÇADE MATERIAL AND AREAS

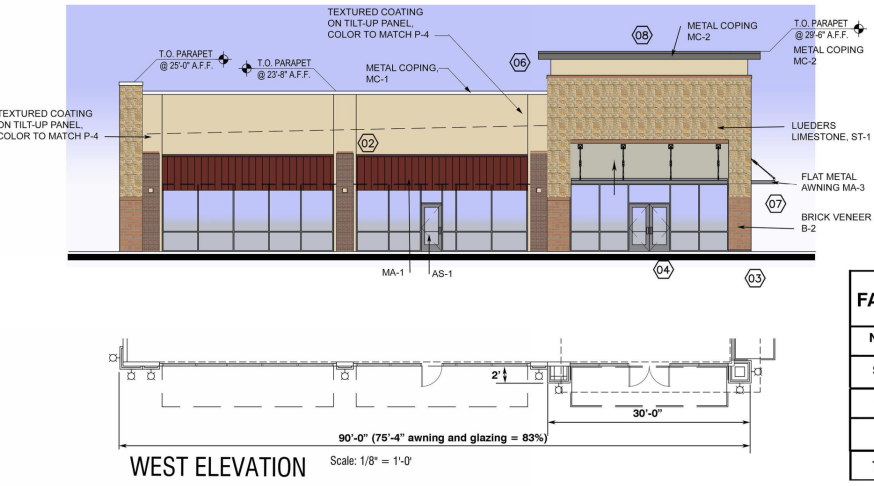
TOTAL FAÇADE AREA	3,444 sf
Glazing	1,129 sf 32.78 %
TOTAL without glazing	2,315 sf 100 %

Masonry	868 sf 37.5 %
Metal Coping	77 sf 3.32 %
EIFs	24 sf 1.04 %
Textured Coating	873.40 sf 25.36 %

Building Design Menu Items Legend

Building Design Menu Items	Legend
Material Mix	(01)
Color Contrast	(02)
Corner Treatment	(03)
Articulated Public Entrance	(04)
Buildings at Intersections	(05)
Roof Profile Variation	(06)
Canopy Variation	(07)
Design Elements	(08)

- BRICK**
- B-1 Acme Brick Marble Gray Smooth (King Size)
 - B-2 Acme Brick Cinnamon Brown (King Size)
 - B-3 Acme Brick Brookshire (King Size)
- STONE**
- ST-1 Lueders's Limestone Color: Buff Type: Random Chopped 100% Roughback
 - ST-2 Lueders's Limestone Color: Buff Type: Saw'n 6 Sides.
- PAINT / TEXTURE COAT / EIFS / STUCCO**
- P-1 Sherwin Williams SW7657 Tinsmith
 - P-2 Sherwin Williams SW7656 Fleur de Sel
 - P-3 Sherwin Williams SW7658 Gray Clouds
 - P-4 Sherwin Williams SW7650 Ellie Gray
 - P-5 Sherwin Williams SW9163 Tin Lizzie
 - P-6 Sherwin Williams SW7536 Bittersweet Stem
 - P-7 Sherwin Williams SW9108 Double Laité
 - P-8 Sherwin Williams SW7031 Mega Greige
 - P-9 Sherwin Williams SW9168 Elephant Ear
 - P-10 Sherwin Williams SW7025 Backdrop
 - P-11 Sherwin Williams SW7019 Gauntlet Gray
 - P-12 Sherwin Williams SW7026 Griffin
 - P-13 Sherwin Williams SW9052 Iced Mocha
 - P-14 Sherwin Williams SW7705 Wheat Penny
 - P-15 Sherwin Williams SW2808 Rookwood Dark Brown
- METAL COPING / METAL ROOFING**
- MC-1 Berridge Manufacturing Shasta White
 - MC-2 / MR-2 Berridge Manufacturing Zinc Grey
- METAL AWNING**
- MA-1 Berridge Manufacturing Burgundy
 - MA-2 Berridge Manufacturing Terra-Cotta
 - MA-3 Berridge Manufacturing Charcoal Grey
 - MA-4 Berridge Manufacturing Shasta White



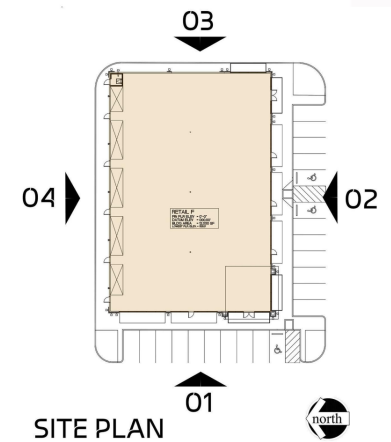
FAÇADE MATERIAL AND AREAS

TOTAL FAÇADE AREA	2,381 sf
Glazing	755 sf 31.7 %
TOTAL without glazing	1,626 sf 100 %

Masonry	585 sf 36 %
Metal Coping	58 sf 3.56 %
EIFs	27 sf 2 %
Textured Coating	636.68 sf 26.74 %

FAÇADE	WINDOWS AREA	FAÇADE AREA	WINDOW LINEAR FEET	FAÇADE LINEAR FEET
NORTH	0	3,082 SF.	NA	135'-4"
SOUTH	1,129 SF	3,444 SF	112', 83%	135'-4"
WEST	755 SF	2,381 SF	75'-4" 83%	90'
EAST	200 SF	2,219 SF	20', 22%	90'
TOTAL	2,084 SF	11,126 SF		

Materials and colors subject to change based on availability. Substituted color to remain in a similar color palette.

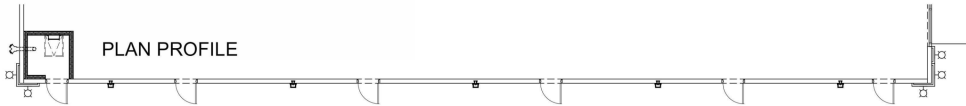
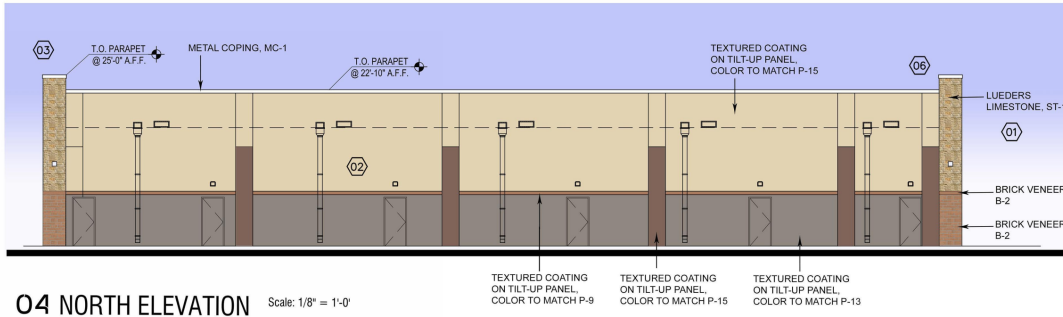


EPIC EAST TOWNE CROSSING

RETAIL F SHEET 1
14043-10, SP-72, 01-28-2022



STP-22-01-0027



FACADE MATERIAL AND AREAS

TOTAL FACADE AREA	3,082 sf	
Glazing	0 sf	0 %
TOTAL without glazing	3,082 sf	100 %
Masonry	164 sf	5.32 %
Hollow Metal Doors	144 sf	4.93 %
Metal Coping	68 sf	2.33 %
Textured Coating	2,694 sf	87.42 %

- BRICK**
- B-1 Acme Brick Marble Gray Smooth (King Size)
 - B-2 Acme Brick Cinnamon Brown (King Size)
 - B-3 Acme Brick Brockshire (King Size)
- STONE**
- ST-1 Lueder's Limestone Color: Buff Type: Random Chopped 100% Roughback
 - ST-2 Lueder's Limestone Color: Buff Type: Sawn 6 Sides.
- PAINT / TEXTURE COAT / EIFS / STUCCO**
- P-1 Sherwin Williams SW7657 Tinsmith
 - P-2 Sherwin Williams SW7666 Fleur de Sel
 - P-3 Sherwin Williams SW7658 Gray Clouds
 - P-4 Sherwin Williams SW7650 Ellie Gray
 - P-5 Sherwin Williams SW9183 Tin Lizzie
 - P-6 Sherwin Williams SW7536 Bittersweet Stem
 - P-7 Sherwin Williams SW9108 Double Latte
 - P-8 Sherwin Williams SW7031 Mega Greige
 - P-9 Sherwin Williams SW9168 Elephant Ear
 - P-10 Sherwin Williams SW7025 Backdrop
 - P-11 Sherwin Williams SW7019 Gauntlet Gray
 - P-12 Sherwin Williams SW7026 Griffin
 - P-13 Sherwin Williams SW9092 Iced Mocha
 - P-14 Sherwin Williams SW7705 Wheat Penny
 - P-15 Sherwin Williams SW2808 Rookwood Dark Brown

- METAL COPING / METAL ROOFING**
- MC-1 Berridge Manufacturing Shasta White
 - MC-2 / MR-2 Berridge Manufacturing Zinc Grey

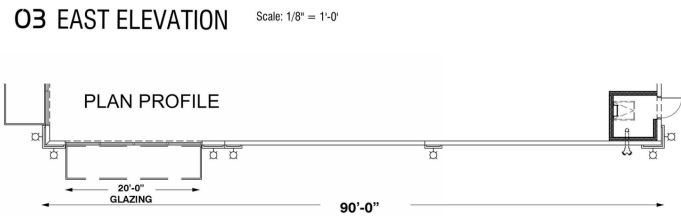
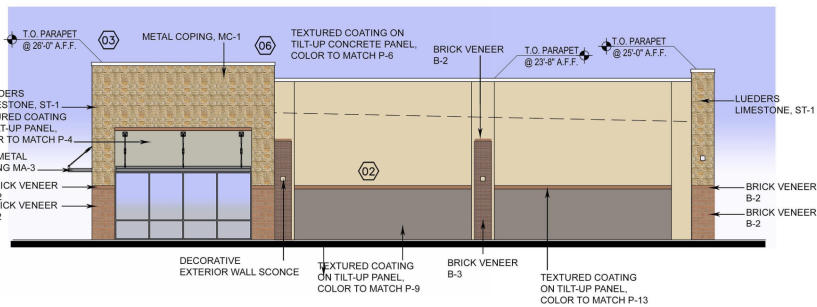
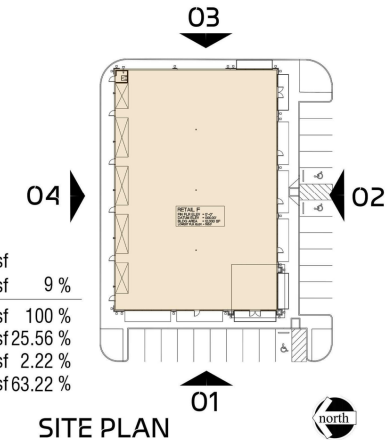
- METAL AWNING**
- MA-1 Berridge Manufacturing Burgundy
 - MA-2 Berridge Manufacturing Terra-Cotta
 - MA-3 Berridge Manufacturing Charcoal Grey
 - MA-4 Berridge Manufacturing Shasta White

- ALUMINUM STOREFRONT**
- AS-1 Kawneer Clear Anodized

- ARCHITECTURAL PANELS**
- AP-1 Nichiha Vintagewood Redwood
 - AP-2 Nichiha Vintagewood Bark
 - AP-3 Nichiha Vintagewood Ash

Materials and colors subject to change based on availability. Substituted color to remain in a similar color palette.

FACADE	WINDOWS AREA	FACADE AREA	WINDOW LINEAR FEET	FACADE LINEAR FEET
NORTH	0	3,082 SF.	NA	135'-4"
SOUTH	1,129 SF	3,444 SF	110', 81%	135'-4"
WEST	755 SF	2,381 SF	73.5', 82%	90'
EAST	200 SF	2,219 SF	20', 22%	90'
TOTAL	2,084 SF	11,126 SF		



FACADE MATERIAL AND AREAS

TOTAL FACADE AREA	2,219 sf
Glazing	200 sf 9 %
TOTAL without glazing	2,019 sf 100 %
Masonry	516 sf 25.56 %
Metal Coping	45 sf 2.22 %
Textured Coating	1,403 sf 63.22 %

Building Design Menu Items	Legend
Material Mix	01
Color Contrast	02
Corner Treatment	03
Articulated Public Entrance	04
Buildings at Intersections	05
Roof Profile Variation	06
Canopy Variation	07
Design Elements	08

Appendix F Menu Items Checklist

The Appendix F Menu Items Checklist intended to help developers organize their Development Request submittal and communicate Menu Items choices to Staff. This checklist is not intended to be used without first reading Appendix F. Developers must select a total of 12 Menu Items. Unless otherwise indicated, each Menu Item counts as 1 Menu Item.

Instructions: Complete checklist by indicating which Menu Items you select. After completing the checklist fill out the Menu Item Summary Table.

Usable Open Space & Pedestrian Linkages		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	Enhanced Usable Open Space	Usable Open Space that exceeds the minimum requirements with at least four Tier 1 amenities and three or more Tier 2 amenities. <ul style="list-style-type: none"> • Tier 1 Amenities: two types of seating, active water feature, furnished play area, dog park, sculpture, artwork, furnished outdoor game area, or comparable amenity proposed by the developer. • Seasonal plantings in decorative planters, textured paving, living wall, mural, decorative lighting, USB charging station, electrical hook-up to allow programming, or a comparable amenity proposed by the developer. → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Above-and-Beyond Usable Open Space (2)	Developers who are able to demonstrate to the Planning and Zoning Commission and City Council that the proposed Usable Open Space goes above-and-beyond the Enhanced Usable Open Space may count the space as two Menu Items. <ul style="list-style-type: none"> * Include project narrative or exhibit that lists the proposed amenities and describes why the space should be considered above-and-beyond Usable Open Space.
<input type="checkbox"/>	Public Art Piece	Dedicate at least 1% of the total project cost to one major public art piece to be centrally located.
<input type="checkbox"/>	Public Art Series	Dedicate at least 1% of the total project cost to multiple public art pieces to be located throughout the development.
Site Design & Building Orientation (Select at Least Two Menu Items)		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	75% Parking Behind Buildings	Buildings shall be placed towards the street with 75% of off-street parking located to the side or rear of buildings.
<input type="checkbox"/>	100% Parking Behind Buildings (1.5)	Buildings shall be placed towards the street with 100% of off-street parking located to the side or rear of buildings.
<input checked="" type="checkbox"/>	Add Parking Lot Trees	Provide one parking lot tree per five spaces. Parking lot trees should be capable of achieving 30% canopy coverage over the parking area within 10 years of planting.
<input type="checkbox"/>	Rain Gardens	Provide bioretention areas, or rain gardens, between every other row of parking.
<input type="checkbox"/>	Permeable Surface	Use permeable concrete and pavers on 15% of the surface parking lot.
<input type="checkbox"/>	Strategic Parking	Submit one of the following Strategic Parking Plans: <ul style="list-style-type: none"> • Parking Reclamation Plan – Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse. • Parking Flex Plan – Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.

		<ul style="list-style-type: none"> Phased Parking Plan – Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green spaces until converted to parking spaces. If, after five years, future parking spaces have not been constructed, they shall become permanent green space. <p>→ Circle or highlight selected parking plan.</p>
<input type="checkbox"/>	Ceremonial Drive	Developments over 20 acres or developments that include multiple lots/buildings shall provide a grand promenade or ceremonial drive with trees planted every 30 feet.
<input type="checkbox"/>	Gateway	Developments over 20 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a gateway, frame usable open space, or create a view corridor with appropriate terminus.
<input checked="" type="checkbox"/>	Park Once Environment (1.5)	<p>Developments over 10 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a park once environment.</p> <ul style="list-style-type: none"> Shared parking agreements between different lots/occupants must be in place.

Building Design (Select at Least Six Menu Items)

<input checked="" type="checkbox"/> If Selected	Menu Item	Description
<input checked="" type="checkbox"/>	Materials Mix	A single material, color, or texture shall not exceed 60% of a single facade.
<input type="checkbox"/>	Stone Accent	All four facades shall include a stone accent in a contrasting color and texture from the primary building material. The combined area of the stone accent shall be at least 25% of the vertical surface area of all facades.
<input checked="" type="checkbox"/>	Color Contrast	Each facade shall include at least two contrasting colors.
<input type="checkbox"/>	Specialty Accent	Color and/or material shall be used to highlight entrances of multi-tenant buildings. Specialty accents should reflect the personality or character of the occupant.
<input checked="" type="checkbox"/>	Corner Treatment	<p>Developers shall use at least three architectural elements to emphasize corners of the buildings: corner entrance, accent material, projecting cornice, tower element, enhanced windows, cupolas, gables, dormers, balconies, articulation, or a comparable element chosen by the developer. Corner treatments must be one of the Menu Items for buildings at key intersections.</p> <p>→ Circle or highlight the proposed architectural elements.</p>
<input checked="" type="checkbox"/>	Articulated Public Entrance	<p>The primary building entrance shall be visibly prominent from a public street. At least three of the following shall be used: recessed facade, projecting facade, raised canopy, taller door dimensions, double doors, lighting fixtures on either side of the entry, steps or stoops, changes in materials, arches, columns, eave treatment, transom windows, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed elements.</p>
<input checked="" type="checkbox"/>	Buildings at Key Intersections	<p>Developers should highlight key intersections by using additional design elements to create gateways or landmarks. Buildings at key intersections shall include at least three of the following features: corner plaza with plantings and seating, corner tower form, cupolas, large window openings, sloped or pitched roof form, richer colors, seasonal plantings, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed features.</p>
<input checked="" type="checkbox"/>	Roof Profile Variation	Developers shall use parapets or another technique to create a distinctive roof profile.
<input type="checkbox"/>	Articulation Elements	Each facade shall include at least three of the following items every 60 feet: change in roofline, facade modulation, window

		fenestration patterns, vertical columns, and change in material texture. → Circle or highlight the proposed items.
<input type="checkbox"/>	Enhanced Windows	All facades with windows shall include at least two types of windows that differ in the style, size, shape, or placement.
<input checked="" type="checkbox"/>	Canopy Variation	Facades shall include multiple types of canopies. Changes in shape, color, or material should be used to highlight an architectural feature or particular user while complementing the established design theme. * It is likely that individual tenants will determine the final design of the canopy. If tenants are unknown at this time, submit an exhibit that illustrates variations in shape, color, and material within the intended design theme.
<input checked="" type="checkbox"/>	Design Elements	Facades shall include at least three other design elements: trellises, towers, overhang eaves, banding, pilasters, projecting cornices, columns, string courses, rustication, lintels, or a comparable element proposed by the developer. → Circle or highlight the proposed design elements.

Healthy, Smart, and Sustainable Community (Select at Least Two Menu Items)

<input checked="" type="checkbox"/> If Selected	Menu Item	Description
<input type="checkbox"/>	Mature Trees	Provide mature trees for 30% of required trees. The locations of the mature trees should be focused in usable open spaces and along pedestrian paths.
<input type="checkbox"/>	Connect to Parks and/or Trails	Provide a connection to existing or proposed parks and/or trails. The connection should function as a continuation, not just a point of access. The connection shall include appropriate amenities such as bike racks, pet waste disposal stations, water fountains, misting stations, or a comparable amenity proposed by the developer. → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Community Garden	Provide a community garden and participate in the City's community gardens partnership program.
<input type="checkbox"/>	Parking Reclamation Plan	Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse.
<input type="checkbox"/>	Parking Flex Plan	Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.
<input type="checkbox"/>	Phased Parking Plan	Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green space until converted to parking spaces. If, after five years, future parking phases have not been constructed, they shall become permanent green space.
<input type="checkbox"/>	Green Infrastructure	Provide and maintain green infrastructure such as bioretention areas (rain gardens), planter boxes, or vegetated buffer strips consistent with NCTCOG's integrated Stormwater Management (iSWM) Program.
<input type="checkbox"/>	Solar Energy	Use solar energy to satisfy 25% or more of on-site energy demand.
<input type="checkbox"/>	Preserve Open Space	Reserve existing natural areas comprising at least 5% of the overall project size. Such areas should incorporate quality non-invasive tree stands, habitat or riparian areas. Such areas should not include existing floodplain or other areas already protected or inherently unsuitable for development.

<input checked="" type="checkbox"/>	70% Native Plants	Use native and drought tolerant species for at least 70% of planting materials.
<input type="checkbox"/>	Wi-Fi (.5)	Provide Free Wi-Fi in common areas.
<input type="checkbox"/>	USB Charging Stations (.5)	Provide USB charging stations in usable open spaces.
<input type="checkbox"/>	Smart Parking (.5)	Provide web-connected sensors in pavement that help people find and/or reserve a parking space.
<input type="checkbox"/>	Ride-Sharing Drop-Off (.5)	Provide designated spaces for ride-sharing pick-ups and drop-offs.
<input type="checkbox"/>	Permeable Paving (.5)	Use permeable pavement on 15% of the parking lot.
<input type="checkbox"/>	Green Roofs (.5)	Provide a green roof that is at least 50% of total roof area.
<input type="checkbox"/>	Living Wall (.5)	Provide a living wall that is at least 60% of the area of the facade on which it is constructed.
<input checked="" type="checkbox"/>	Recycling Program (.5)	Institute a mandatory recycling program for occupants. Provide recycling bins in addition to trash bins in common areas.
<input type="checkbox"/>	30% Native Plants (.5)	Use native and drought tolerant species for at least 30% of planting materials.
<input checked="" type="checkbox"/>	Pollinator Friendly Flowers (.5)	Use native plants that attract bees, butterflies, moths, and hummingbirds for at least 20% of required landscape materials.

Alternative Compliance

The Menu Items listed do not represent an exhaustive list. Developers may propose a comparable item not listed. If developers are able to prove that the proposed item meets the intent of Appendix F, Staff may recommend that the proposed item be counted as a Menu Item. Indicate the proposed item, identify which of the four elements the proposed item will count towards, and provide a brief description.

<input checked="" type="checkbox"/> If Selected	Proposed Item/Element	Description
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		

Menu Item Summary Table

Element	# of Menu Items
Usable Open Space & Pedestrian Walkways	0
Site Design & Building Orientation	2.5
Building Design	8
Healthy, Smart, Sustainable Community	2
Alternative Compliance	0
Total Menu Items:	12.5



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: STP-22-01-0026 - Site Plan - Centerline Supply (City Council District 1). Site Plan for an 18,000 sq. ft. addition to an existing manufacturing building on 1.98 acres. Lots 1R and 5-10, Block C, Bell Crest Addition, City of Grand Prairie, Tarrant County, Texas, zoned Planned Development-416 (PD-416) District, and addressed as 509 Jesse Street (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)

APPLICANT: Mathew Thomas, P.E., Thomas Engineering, Inc

RECOMMENDED ACTION: Approve with conditions

SUMMARY:

Site Plan for an 18,000 sq. ft. addition to an existing manufacturing building on 1.98 acres. Lots 1R and 5-10, Block C, Bell Crest Addition, City of Grand Prairie, Tarrant County, Texas, zoned Planned Development-416 (PD-416) District and addressed as 509 Jesse Street.

PURPOSE OF REQUEST:

The applicant intends to construct an 18,000 sq. ft. addition to the existing building, expand the parking lot, add landscaping, and build a masonry screening wall to accommodate the expansion of the existing business.

ADJACENT LAND USES:

The following Table 1 summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	Commercial	Commercial Flex Space
South	Commercial Office	Warehouse Uses
West	Commercial Office	Commercial-Centerline
East	Single-Family -4	Single Family Residential

HISTORY:

In May 2001, a Certificate of Occupancy was issued to Centerline Supply, Inc. for sign manufacturing. Currently, the sign manufacturing business activities extend from the original shop at 509 Jesse Street to the abutting five properties to the south. Centerline Supply, Inc has business operations and activities on both sides of Jesse Street, from Anton Street extending south to W.E. Roberts Street.

- July 13, 2021: City Council approved a rezone from Commercial to PD-416 for commercial uses and sign manufacturing (Case Number Z210502).

PROPOSED USE CHARACTERISTICS AND FUNCTION:

Centerline Supply, Inc. is a sign manufacturing business that manufactures street and highway signs. The proposed expansion includes a 18,000 sq. ft. building addition, improvements to an existing driveway, and construction of a new commercial driveway. The addition will bring the facilities total sq. ft to 33,000 sq. ft.

The site plan depicts 46 new off-street parking spaces, an off-street loading space, and a masonry dumpster enclosure. The applicant is proposing to construct a minimum eight ft. masonry screening wall on the eastern boundary of the property.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

Development is subject to Article 6 in the UDC and PD-416. The table below evaluates the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.

Table 2: Site Data Summary

Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	15,000	86,299	Yes
Min. Lot Width (Ft.)	100	148	Yes
Min. Lot Depth (Ft.)	150	579	Yes
Front Setback (Ft.)	25	37.5 & 36 (Jesse St)	Yes
Rear Setback (Ft.)	12.5	12.5	Yes
Max. Height (Ft.)	50	26	Yes
Max. Floor Area Ratio	1:1	0.38:1	Yes

Landscaping Requirements

The property is subject to landscape and screening requirements in Article 8 of the UDC. Table 3 summarizes the landscaping requirements. The site meets or exceeds these requirements.

Table 3. Landscape & Screening Requirements

Standard	Required	Provided	Meets
Area (Sq. Ft.)	8,630	10,728	Yes
Trees	17	19	Yes
Sherman Street Trees	3	3	Yes

Jesse Street Trees	10	10	Yes
Anton Street Trees	3	3	Yes
Shrubs	170	170	Yes

Parking Requirements

The proposal meets the required total parking spaces. Based on the parking requirement calculations in Article 10, the development must provide a minimum of 55 spaces. Table 4 summarizes the parking requirements.

Table 4. Required Parking

Use	Standard	Required	Provided
Manufacturing Plant	1 Space/600 sq. ft..	55	68

VARIANCES:

The applicant is not requesting any variances.

RECOMMENDATION:

- On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0.
- Development Review Committee (DRC) recommends approval with the following conditions:
 1. The applicant shall replat the property into a single lot.
 2. The applicant shall file the plat with the county before the City will issue a building permit.

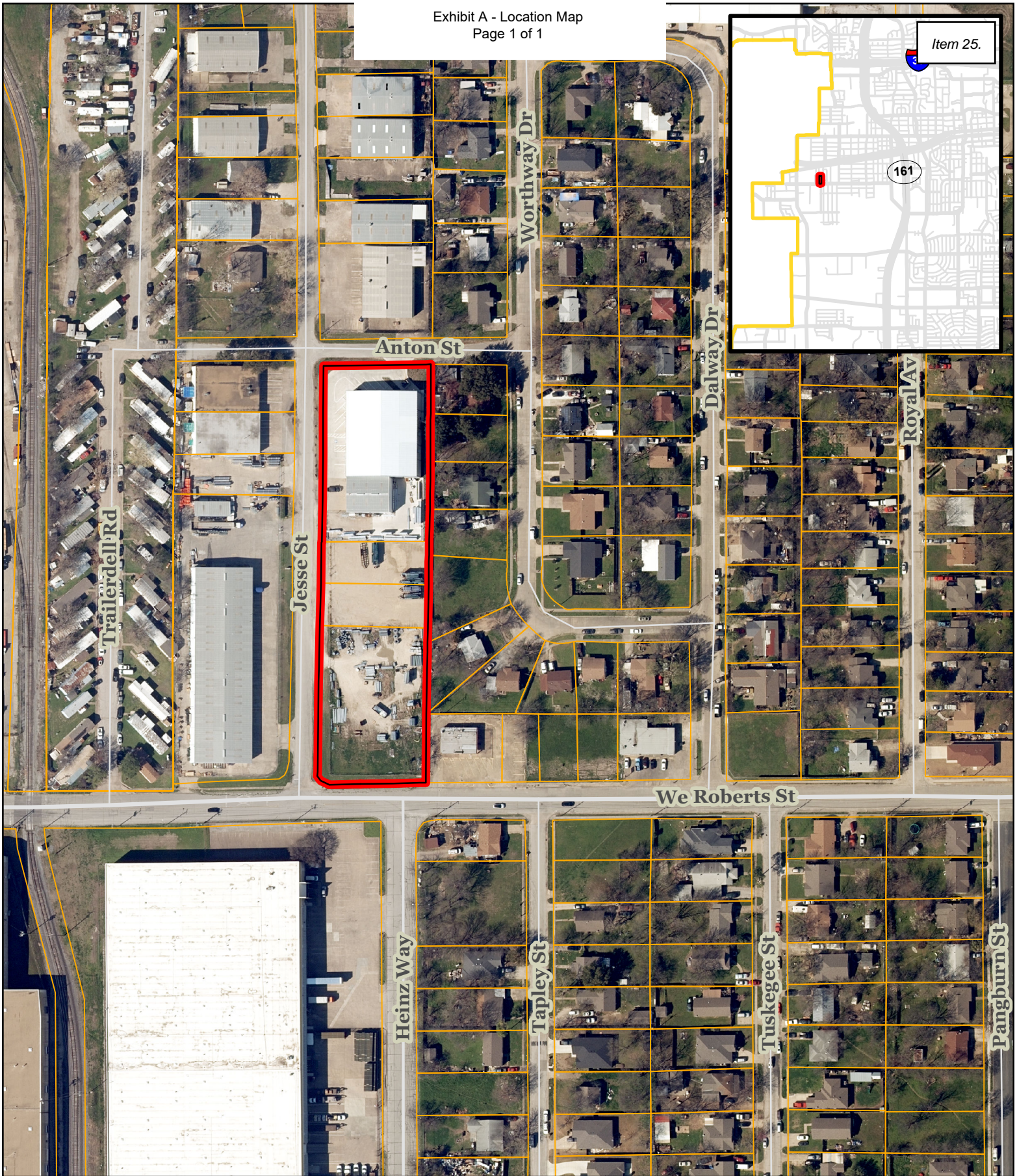
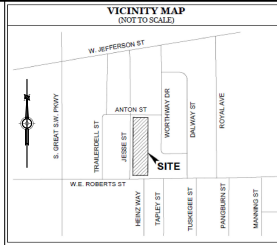
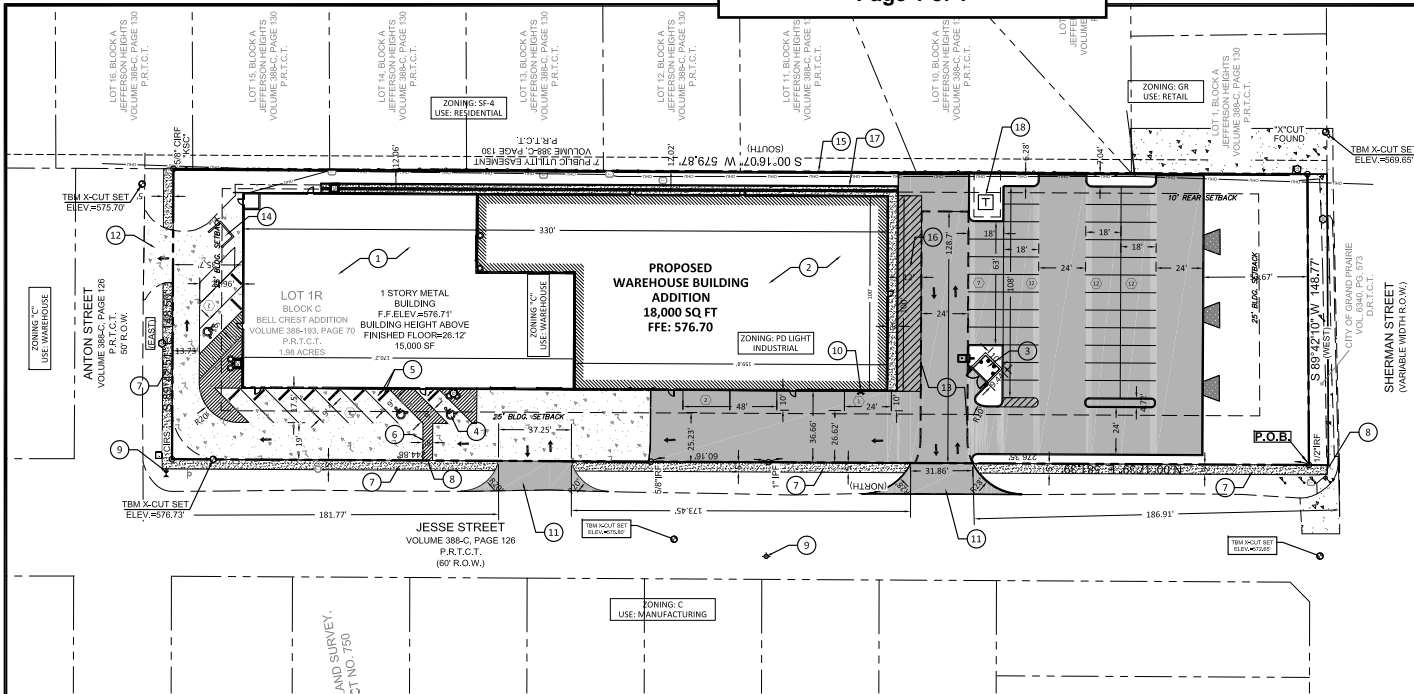


Exhibit B - Site Plan Page 1 of 1

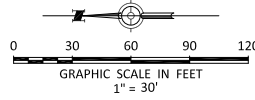


THOMAS
SITE DEVELOPMENT
ENGINEERING INC.
REGISTERED PROFESSIONAL ENGINEER
NO. 006886, STATE OF TEXAS
PHONE: (214) 680-2728; THOMAS-ENG.COM
EMAIL: MATTHEW@THOMAS-ENG.COM

CENTERLINE SUPPLY
LOT 1R, LOTS 5-10 BLOCK C, BELL CREST ADDITION
5009 JESSE ST, GRAND PRAIRIE, TX 75051
CITY FILE NO. P-XXXX



- NOTES BY SYMBOL:**
- 1 EXISTING 15,000 SF STRUCTURE.
 - 2 PROPOSED 18,000 SF ADDITION.
 - 3 12"x12" DUMPSTER WITH MASONRY ENCLOSURE TO MATCH BUILDING COLORS WITH 7" THICK CONC. APPROACH APRON. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - 4 ACCESSIBLE PARKING SPACE (TPP)
 - 5 ACCESSIBLE PARKING POLE SIGNAGE & WHEELSTOPS (TYP) - 2 PLACES (1 REGULAR AND 1 VAN ACCESSIBLE SIGNAGE)
 - 6 ADA COMPLIANT WALKWAY
 - 7 NEW 5' WIDE SIDEWALK IN CITY & ROW. CITY PERMITS REQUIRED BEFORE CONSTRUCTION IN ROW
 - 8 CONNECT ADA COMPLIANT WALKWAY TO SIDEWALK IN ROW.
 - 9 EXISTING FIRE HYDRANT
 - 10 PROPOSED REMOTE FIRE DEPARTMENT CONNECTION
 - 11 INSTALL DRIVEWAY PER CITY OF GRAND PRAIRIE CITY STANDARDS
 - 12 EXISTING DRIVEWAY (CONCRETE)
 - 13 FIRE LANE STRIPING PER GRAND PRAIRIE FIRE DEPARTMENT STANDARDS
 - 14 EXISTING DUMPSTER
 - 15 PROPOSED 8' TALL 570 LF OF MASONRY WALL (TYPE I) WALL ALONG THIS PROPERTY LINE
 - 16 LOADING SPACE (100'x12')
 - 17 INSTALL 300 LF OF 42" TALL PEDESTRIAN HANDRAIL
 - 18 ELECTRICAL TRANSFORMER TO BE INSTALLED BY ONCOR IN 15' EASEMENT. CONTACT ONCOR PRIOR TO START OF CONSTRUCTION WITH LOADS REQUIRED FOR ELECTRICAL SERVICE



CASE NO. STP-22-01-0026

SITE PLAN

PROPOSED LOT 1R, BLOCK C; 1.98 AC.
BELL CREST ADDITION
AND BEING SITUATED IN THE
TAPLEY HOLLAND SURVEY, ABSTRACT NUMBER 750
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DEVELOPER JESSE ST HOLDINGS LP 503 JESSE ST GRAND PRAIRIE, TX 75051	ENGINEER THOMAS SITE DEVELOPMENT ENGINEERING INC. P.O. BOX 1281, COLLEYVILLE, TX 76034 ATTN: MATTHEW THOMAS, PE PH: (214) 680-2728
--	---

REVISION	DATE	DESCRIPTION

LEGEND:

- PROPERTY LINE
- ADJOINED PROPERTY
- BUILDING SETBACK LINE
- EASEMENTS
- EXISTING CURB
- PROPOSED CURB AND GUTTER
- PAINTED STRIPE (TRAFFIC WHITE)
- PAINTED WALKWAY (TRAFFIC WHITE)
- EXIST. CONCRETE PAVING
- NEW CONCRETE PAVING SEE DETAIL ON SHEET C-2.1
- 4" THICK CONCRETE SIDEWALK (3000 psi MIN. COMPRESSIVE STRENGTH)
- INTERIOR LANDSCAPED AREA (RE: LANDSCAPE PLANS)
- PARKING STALL COUNT
- SITE LIGHTING (SEE ELECTRICAL PLANS)

LAND USE TABLE

LEGAL DESCRIPTION	BELL CREST ADD., PROPOSED LOT 1R1, BLOCK C
PROPOSED DEVELOPMENT	MANUFACTURING / WAREHOUSE BUILDING
ZONING	PD LIGHT INDUSTRIAL
IMPACT ZONE	NORTH
PROPOSED USE	MANUFACTURING / STORAGE
SITE AREA (sf)	86,299
FRONT SETBACK (MIN. /PROVIDED)	25 / 25.72' (MIN.)
REAR ADJACENT RESIDENTIAL SETBACK (MIN. /PROVIDED)	25 / N/A
SIDE ADJACENT RESIDENTIAL SETBACK (MIN. /PROVIDED)	10 / 12'
BUILDING AREA - EXISTING + PROPOSED (sf)	33,000
FLOOR AREA RATIO	38.24%
TOTAL IMPERVIOUS SURFACE AREA (sf)	62,200
PARKING REQUIRED (3 per 600 sf)	52
PARKING PROVIDED	68
HANDICAP SPACE PROVIDED	3 SPACES

FIRE DEPARTMENT ACCESS NOTES:

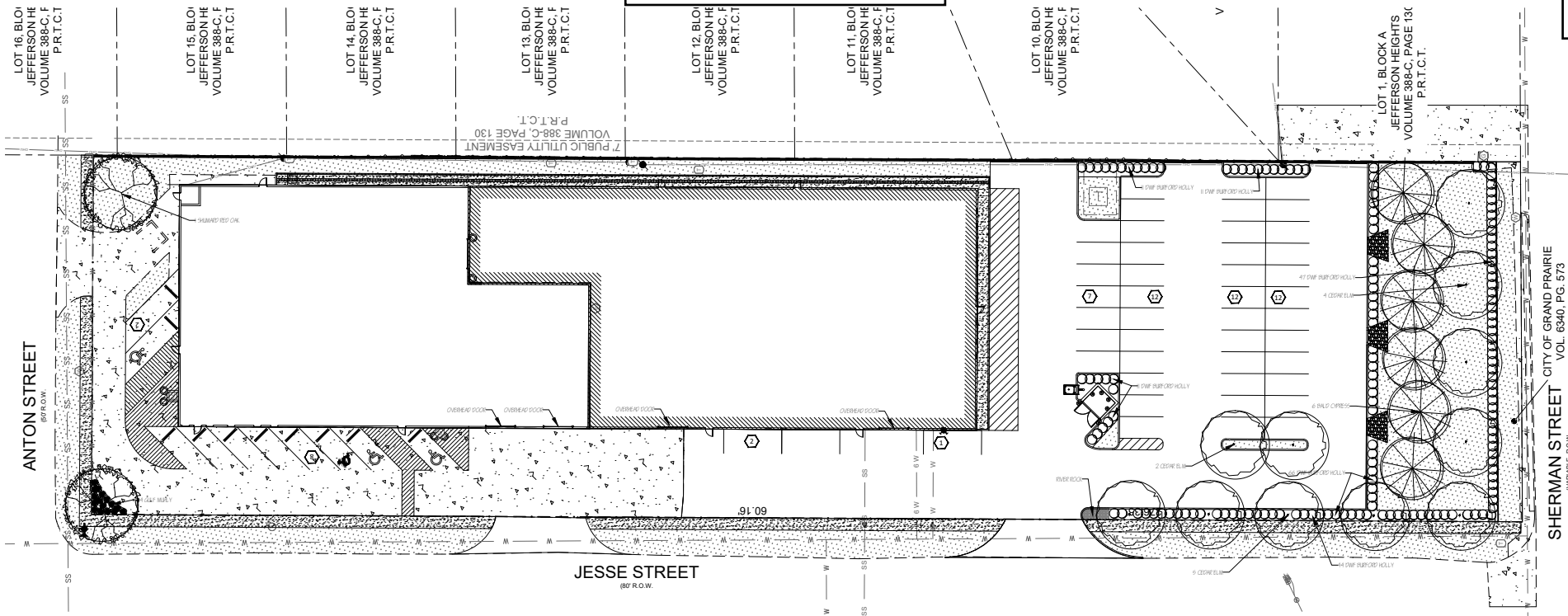
- INSTALL 3200 SERIES KNOX BOX FOR FIRE DEPARTMENT ACCESS TO BUILDING.
- ALL FIRE DEPARTMENT ACCESS ROADS TO BE INSTALLED, INSPECTED AND APPROVED PRIOR TO VERTICAL CONSTRUCTION.

SITE SHALL COMPLY WITH AND/OR EXCEED UDC'S APPENDIX X, SECTION 7 FOR INDUSTRIAL BUILDINGS UNDER 50,000 SQ. FT.

GENERAL NOTES:

1. ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
2. SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, AND DETAILS AROUND THE BUILDING.
3. ALL CURVE RADII ARE 3' UNLESS NOTED OTHERWISE.
4. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN AND DETAILS.

Exhibit C - Landscape Plan
Page 1 of 1



LOT 16, BLO1
JEFFERSON HE
VOLUME 388-C, F
P.R.T.C.T

LOT 15, BLO1
JEFFERSON HE
VOLUME 388-C, F
P.R.T.C.T

LOT 14, BLO1
JEFFERSON HE
VOLUME 388-C, F
P.R.T.C.T

LOT 13, BLO1
JEFFERSON HE
VOLUME 388-C, F
P.R.T.C.T

LOT 12, BLO1
JEFFERSON HE
VOLUME 388-C, F
P.R.T.C.T

LOT 11, BLO1
JEFFERSON HE
VOLUME 388-C, F
P.R.T.C.T

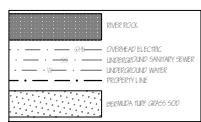
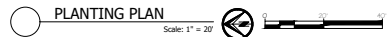
LOT 10, BLO1
JEFFERSON HE
VOLUME 388-C, F
P.R.T.C.T

LOT 1, BLOCK A
JEFFERSON HEIGHTS
VOLUME 388-C, PAGE 13
P.R.T.C.T

ANTON STREET
80' R.O.W.

JESSE STREET
80' R.O.W.

SHERMAN STREET
VARIABLE ROW
CITY OF GRAND PRAIRIE
VOL. 6340, PG. 573



Common Name	Botanical Name	Shrub	Tree	Sp. (D)	Remarks
Small Redbud Holly	<i>For correct botanical name</i>	Shrub	Yes	3 gal	10' tall
Red Cypripedium	<i>Flowering dogwood</i>	Tree	Yes	40 gal	6" of min.
Redbud Holly	<i>Flowering dogwood</i>	Tree	Yes	40 gal	11" of min.
Redbud Holly Oak	<i>Flowering dogwood</i>	Tree	Yes	40 gal	2" of min.
Small Holly	<i>Flowering dogwood</i>	Tree	Yes	5 gal	14" tall
Over Rock	<i>See Notes, 2'-5.5" dia, 3" depth</i>	sq ft	55		
Retaining wall	200' x 10'	sq ft	10,000		
Block Edging	<i>1/2" sq. green metal 4" size edging with anchors</i>	lin ft	100		

PLANT LIST

Jurisdiction of Project

REGULATORY AUTHORITIES:
CITY OF GRAND PRAIRIE
PLANNING DIVISION
GRAND PRAIRIE CITY HALL
P.O. BOX 334843, 300 WEST MAIN ST, GRAND PRAIRIE, TEXAS 75053
972.237.4557
TEXAS DEPARTMENT OF LICENSING AND REGULATION
ELIMINATION OF ARCHITECTURAL BARRIERS
810 THOMPSON STATE OFFICE BUILDING
908 COLORADO
AUSTIN, TEXAS 78701
(512) 463.3311
(512) 475.0366 (FAX)

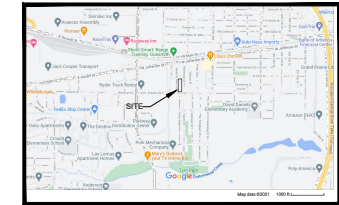
Landscaping Requirements

- CITY OF GRAND PRAIRIE UNIFIED DEVELOPMENT CODE
ARTICLE 5.1 LANDSCAPE AND SCREENING
- A. LANDSCAPE AREAS MIN 10% OF BUILDING SITE.
(PROPOSED LIGHT INDUSTRIAL ZONING) BLDG SITE = 86,299 SF
REQUIRED: 8,630 SF PROVIDED: 14,728 SF
 - B. 1 TREE PER 500 SF OF REQUIRED LANDSCAPING AREA
REQUIRED: 17 TREES
PROVIDED: 19 TREES
OF THESE REQUIRED TREES, ONE PARKING LOT TREE PER 20 SPACES
(60 SPACES)
REQUIRED: 3 PARKING LOT TREES
PROVIDED: 3 PARKING LOT TREES
 - C. 1 SHRUB PER 50 SQ FT OF REQUIRED LANDSCAPING AREA
REQUIRED: 176 SHRUBS
PROVIDED: 176 SHRUBS
 - D. STREET TREES
SHERMAN ST
REQUIRED: 3 TREES, PROVIDED: 3 TREES
JESSE ST
REQUIRED: 10 TREES PROVIDED: 10 TREES
ANTON ST
REQUIRED: 3 TREES, PROVIDED: 3 TREES IN ALTERNATE
LOCATION
 - E. LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.
F. NO EXISTING TREES ON SITE.

Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.
SYSTEM DEIGNED AND INSTALLED ACCORDING TO VECI PLANS AND
REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURF
THE SYSTEM SHALL INCLUDE A FERTILIZER INJECTION.

Site Location



CASE NO. STP-22-01-0026

LANDSCAPE PLAN

PROPOSED LOT 1R1, BLOCK C, 1.98 AC.
BELL CREST ADDITION
AND BEING SITUATED IN THE
TAPLEY HOLLAND SURVEY, ABSTRACT NUMBER 750
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DEVELOPER: JESSE ST HOLDINGS LP
301 JESSE ST
GRAND PRAIRIE, TX 75051

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC.
P.O. BOX 1263, COLLEVILLE, TX 75008
ATTN: MATTHEW THOMAS, PE PH: (214) 680-2728

Item 25.

FEELMAN
DESIGN GROUP
P.O. Box 852946, Richardson, Texas
Mobile: 972.925-4944
car@feelmandesign.com

CENTERLINE SUPPLY
LOT 1R, LOTS 5-10 BLOCK C, BELL CREST ADDITION
509 JESS ST, GRAND PRAIRIE, TX 75051
CITY FILE NO. P-XXXX



These drawings have been prepared by or under the supervision of Carol Felman, Registered Landscape Architect #2080 and Licensed Irrigator LI #20245

NO.	REVISION ITEM DESCRIPTION	DATE:
1.	SITE PLAN SUBMITTAL	12/15/21
2.	REVISED PER COMMENTS	1/20/22
3.	REVISED PER COMMENTS	1/26/22
4.		
5.		
6.		
7.		

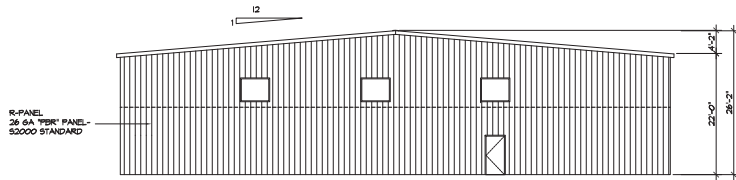
L-1.01

**Exhibit D - Exterior Elevation Plan
Page 1 of 1**

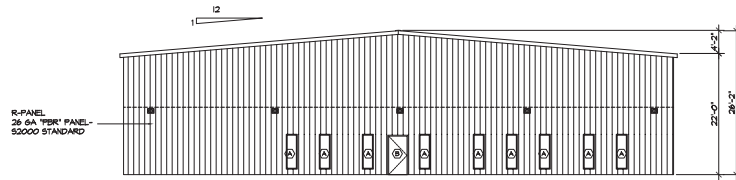
BEA DESIGN
Item 25.

2808 WILLA CREEK DR. SUITE 110
DALLAS, TEXAS 75244
714-888-7008
4128-888-7008
info@beadesign.com

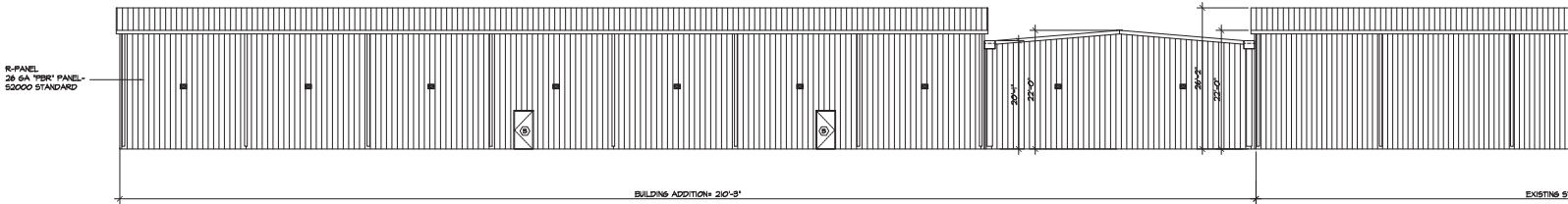
Notes: Painted with a baked enamel coating, or stained, or otherwise finished to be non-reflective as well as resistant to weather and damage from impacts, abrasions, rust, and deterioration.



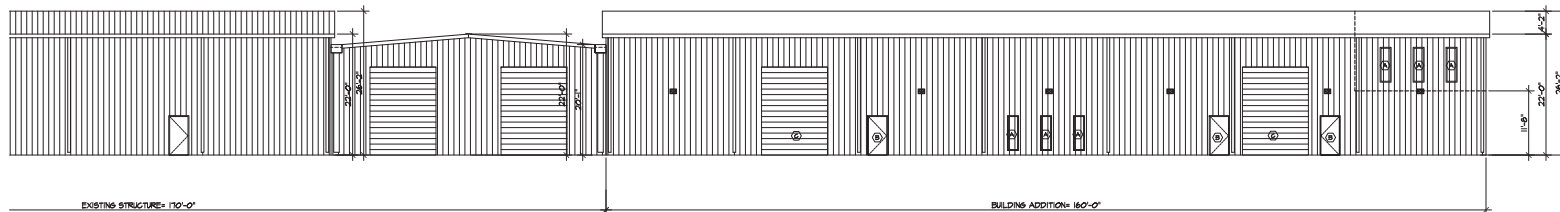
SIDE ELEVATION- NORTH



SIDE ELEVATION- SOUTH

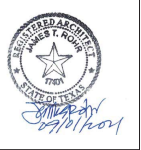


REAR ELEVATION- EAST



FRONT ELEVATION- WEST

MA International
2601 Perth Street
Dallas, TX 75220
johnma2@yahoo.com
F-3485



#	DATE	REVISION
--	04.03	CONSTRUCTION DOCUMENT
△	--	--

**CENTERLINE
SUPPLY
GRAND PRAIRIE
TEXAS**

**ENLARGED
ELEVATIONS**



**CITY OF GRAND PRAIRIE
ORDINANCE**

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: CPA-21-12-0002 - Comprehensive Plan Amendment - Villas at Bardin (City Council District 4). Amendment to the Future Land Use Map to change the designation from Low Density Residential to Medium Density Residential. A portion of Block 4, Sheffield Village Addition, Phase IV, City of Grand Prairie, Tarrant County, Texas, zoned PD-140B with an approximate address of 2801 W Bardin Rd (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote 7-0)

APPLICANT: Jerry Sylo, JBI Partners

RECOMMENDED ACTION: Staff is unable to recommend approval of this request due to its inconsistency with the Future Land Use Map.

SUMMARY:

Comprehensive Plan Amendment to change the Future Land Use Map from Low Density Residential to Medium Density Residential. A portion of Block 4, Sheffield Village Addition, Phase IV, City of Grand Prairie, Tarrant County, Texas zoned Planned Development (PD 140B) with Single-Family detached uses located in the southeast corner of Bardin Rd. and Magna Carta Blvd. with an approximate address of 2801 W Bardin Rd. On January 10, 2022, the Planning and Zoning commission tabled the case pending follow-up meetings with the neighborhood.

PURPOSE OF REQUEST:

The applicant wishes to rezone the subject parcel from a Planned Development (PD 140B) with a base zoning district of Single-Family (SF) zoning to Single-Family Townhouse. This request is for a change from Low Density Residential to Medium Density Residential on the Future Land Use Map (FLUM).

Low Density Residential represents a traditional single-family detached neighborhood and includes housing and living units for people with a range of incomes and needs. Low density residential areas generally range between zero and six dwelling units per acre.

Medium Density Residential represents single-family residential neighborhoods at densities between six and 12 dwelling units per acre. Medium density residential types take the form of townhomes, duplexes,

and patio homes. Medium density residential can be used as a transitional use between low density areas and higher intensity uses, such as commercial, retail, and industrial activity.

Any amendments to the Comprehensive Plan and accompanying Future Land Use Map are required to be reviewed by the Planning and Zoning Commission. Section 1.11.5.1 of the Unified Development Code of the City of Grand Prairie, Texas stipulates that the Planning and Zoning Commission shall conduct a public hearing and make recommendations to the City Council on amendments to the Comprehensive Plan.

HISTORY:

- Concurrently: Zoning Change from Planned Development - (PD 140B) with Single-Family Detached Use to a Planned Development District for Townhome Use and a Concept plan for an 87-unit single family townhome development on 10 acres (Case Number ZON-21-11-0015).

ANALYSIS:

On Tuesday, August 17, 2021, the City of Grand Prairie City Council adopted the Housing Analysis Policy and Guidelines. The policy states that all future residential development should conform with policy guidelines. The proposed development aligns with the following guidelines:

- The proposal is accessible to amenities and services by walking or driving.
- The proposal corresponds to new non-residential development.
- The proposal reduces the economic burden on the resident by concentrating amenities and open spaces where use and maintenance can be shared.

On January 26, 2022, The applicant and Kelly Horn with the Arlington ISD met with the neighborhood and the following items were voiced:

- Kelly commented that there was not enough student population to build a school on the property. The two existing schools in the area are under capacity and the school-age population is trending down and those schools could be closed in the coming years. Also, residents are also choosing to send their children to charter schools and Mansfield ISD. Additionally, if a school were constructed, it would be three stories.
- There was a consensus that the proposed neighborhood was attractive, both in terms of the homes and the neighborhood design.
- The main concern brought up by the neighbors was traffic. More specifically, how Bardin Road tapers to a 2-lane bridge as it crosses 360 and the backup caused by the downsizing. There was agreement that the problem is not because of the new neighborhood, nor is it something that Grand Prairie can control since the bridge is not within Grand Prairie's city limits. It was discussed how the townhomes will probably generate the least amount of traffic of any new type of development on this property. The applicant pointed out that if an elementary school was built and it had 500 children attend it, which is not unreasonable for an elementary school, the traffic count would be almost identical to the townhomes. The primary difference would be the school would create 2 major spikes in traffic (drop-off and pick-up), while the townhomes would create an increase of 56 cars/hour (1/minute) throughout the day.

RECOMMENDATION:

- On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0.
- Staff is unable to recommend approval of this request due to its inconsistency with the Future Land Use Map.

BODY:

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS AMENDING THE 2021 FUTURE LAND USE MAP, A COMPONENT OF THE 2018 COMPREHENSIVE PLAN, TO CHANGE THE CLASSIFICATION OF A PORTION OF BLOCK 4, SHEFFIELD VILLAGE ADDITION, PHASE IV, CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS, ZONED PLANNED DEVELOPMENT – 140B DISTRICT, LOW DENSITY RESIDENTIAL TO MEDIUM DENSITY RESIDENTIAL; AND MAKING THIS ORDINANCE CUMULATIVE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE; AND DECLARING AN EFFECTIVE DATE

WHEREAS, Section 1.11.5.1 of the Unified Development Code of the City of Grand Prairie, Texas stipulates that the Planning and Zoning Commission shall conduct a public hearing and make recommendations to the City Council on amendments to the Comprehensive Plan; and

WHEREAS, Notice was given of a public hearing on proposed amendments to the Comprehensive Plan to be held by the Planning and Zoning Commission of Grand Prairie, Texas, in the City Hall Plaza Building, at 6:30 P.M. on February 14, 2022, such Notice of the time and place of such hearing having been given at least ten (10) days prior to such hearing by publication in the Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, after consideration of said amendment, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 7 to 0 to recommend to the City Council of Grand Prairie, Texas, that said Comprehensive Plan should be approved since its provisions are in the public interest and will promote the health, safety and welfare of the community; and

WHEREAS, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building, at 6:30 P.M. on March 1, 2022, to consider the advisability of amending the Comprehensive Plan as recommended by the Planning and Zoning Commission, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:

SECTION 1. The Future Land Use Map for 2018 Comprehensive Plan for the City of Grand Prairie be amended, revised, and described as follows:

- A. Change the Future Land Use classification from LOW DENSITY RESIDENTIAL to MEDIUM DENSITY RESIDENTIAL on property delineated as a portion of Block 4, Sheffield Village Addition, phase IV, City of Grand Prairie, Dallas County, Texas; as described and depicted in Exhibit A – Boundary Description.

SECTION 2. If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such provisions and such holding shall not affect the validity of the remaining portions thereof.

SECTION 3. All ordinances or parts of ordinances not consistent or conflicting with the provisions of this Ordinance are hereby repealed. Provided that such repeal shall be only to the extent of such inconsistency and in all other respects this Ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered in this Ordinance.

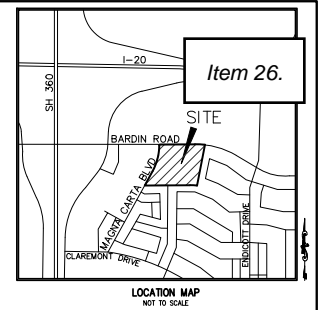
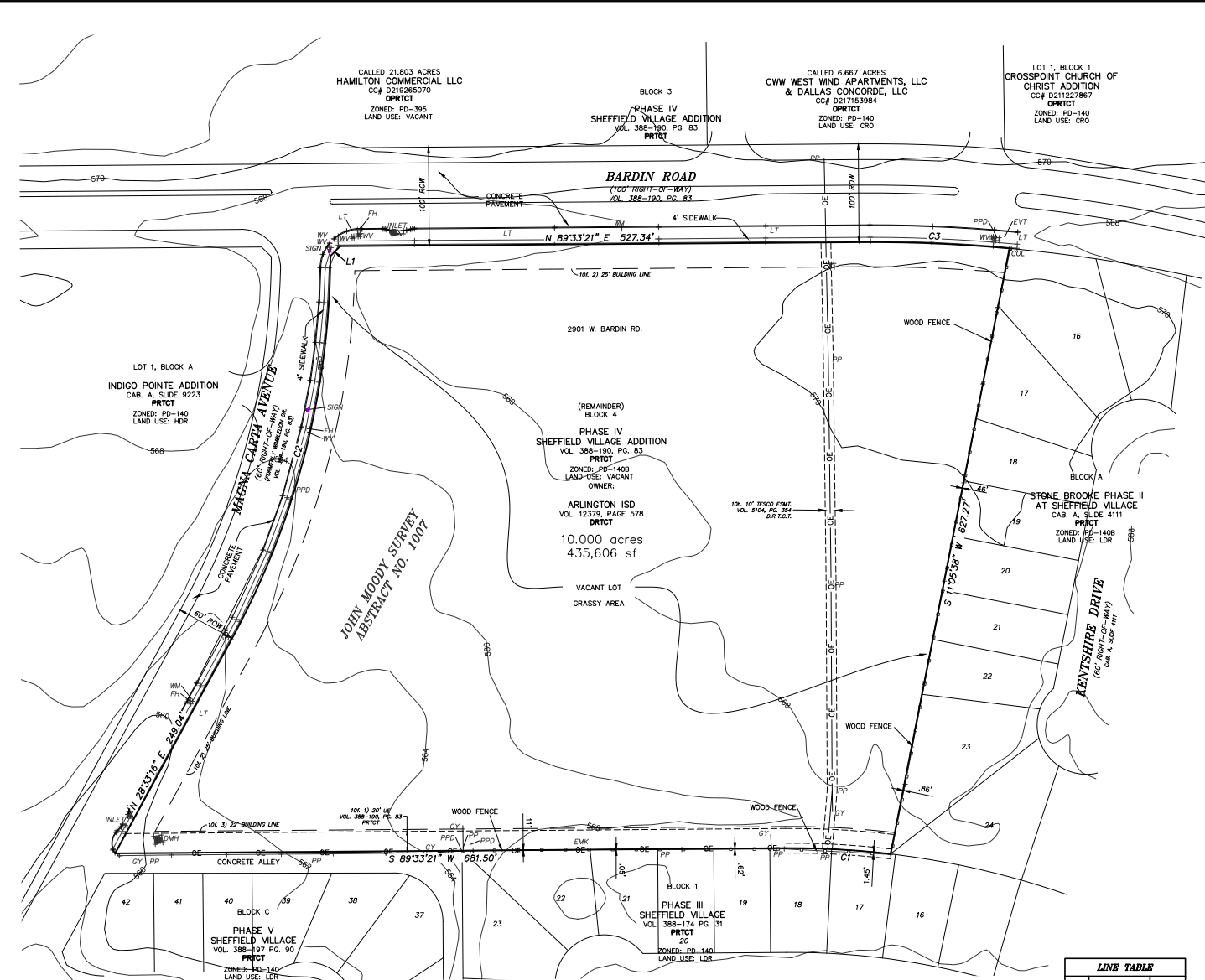
SECTION 4. The terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

SECTION 5. This ordinance shall be in full force and effect from and after its passage, approval, and publication.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 1ST DAY OF MARCH 2022.

ORDINANCE NO. #
CASE NO. CPA-21-12-0002





LEGAL DESCRIPTION

Being a parcel of land located in the City of Grand Prairie, Tarrant County, Texas, a part of the John Moody Survey, Abstract Number 1007, being part of Block 4, Sheffield Village, Phase IV, an addition to the City of Grand Prairie, Tarrant County, Texas as recorded in Volume 388-190, Page 83, Plat Records of Tarrant County, Texas (PRTCT), and being all of the called 10,000 acre tract of land described in deed to Arlington Independent School District (AISD) as recorded in Volume 12379, Page 578, Deed Records of Tarrant County, Texas (DRCTCT), and being further described as follows:

BEGINNING at the northeast corner of said 10,000 acre tract, said point being the northwest corner of Lot 16, Block A of Stone Brooke Phase II at Sheffield Village, an addition to the City of Grand Prairie as recorded in Volume 388-174, Page 31, Plat Records of Tarrant County, Texas;

THENCE South 11 degrees 05 minutes 38 seconds West, 627.27 feet to a point at the southeast corner of said 10,000 acre tract, said point being the south corner of Lot 23, Block A, and the west corner of Lot 24, Block A, of said Stone Brooke Phase II at Sheffield Village, said point also being in the north line of Lot 17, Block 1, Sheffield Village, Phase III, an addition to the City of Grand Prairie as recorded in Volume 388-174, Page 31, Plat Records of Tarrant County, Texas;

THENCE along the south line of said 10,000 acre tract as follows:
Northwesterly, 106.96 feet along a curve to the left having a central angle of 07 degrees 12 minutes 36 seconds, a radius of 850.00 feet and whose chord bears North 86 degrees 50 minutes 21 seconds East, 106.89 feet to a point for corner in the north line of Lot 18, Block 1, of said Sheffield Village, Phase III;

South 89 degrees 33 minutes 21 seconds West, 681.50 feet to a point at the southwest corner of said 10,000 acre tract, said point being in the intersection of the north right-of-way line of an alley dedicated by Sheffield Village, Phase V plat and the west right-of-way line of Magna Carta Avenue, a 60 foot right-of-way;

THENCE along the west line of said 10,000 acre tract and along the east right-of-way line of Magna Carta Avenue as follows:
North 28 degrees 33 minutes 16 seconds East, 249.04 feet to a point for corner;

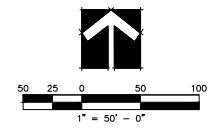
Northeasterly, 405.10 feet along a curve to the left having a central angle of 28 degrees 17 minutes 59 seconds, a radius of 820.16 feet and whose chord bears North 14 degrees 24 minutes 16 seconds East, 409.99 feet to a point at the most westerly northwest corner of said 10,000 acre tract;

North 44 degrees 43 minutes 50 seconds East, 14.18 feet to a point at the most northerly northwest corner of said 10,000 acre tract, said point being in the south right-of-way line of Bardin Road, a 100 foot right-of-way;

THENCE along the north line of said 10,000 acre tract and along the south right-of-way line of Bardin Road as follows:
North 89 degrees 33 minutes 21 seconds East, 527.34 feet to a point for corner;

Southeasterly, 153.01 feet along a curve to the right having a central angle of 05 degrees 39 minutes 22 seconds, a radius of 1,550.01 feet and whose chord bears South 87 degrees 36 minutes 58 seconds East, 152.95 feet to the POINT OF BEGINNING and containing 435,606 square feet or 10,000 acres of land.

"This document was prepared under 22 TAC 663.23, does not reflect the results of a field survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared."



BOUNDARY EXHIBIT
VILLAS AT BARDIN
10,000 ACRES OUT OF THE
JOHN MOODY SURVEY, ABSTRACT NO. 1007
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

LINE TABLE		
LINE	BEARING	LENGTH
LT	N 44°43'50" E	14.18'

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	850.00'	106.96'	7° 12' 36"	N 86°50'21" W	106.89'
C2	820.16'	405.10'	28° 17' 59"	N 14°24'16" E	400.99'
C3	1550.01'	153.01'	5° 39' 22"	S 87°36'58" E	152.95'

ARLINGTON ISD OWNER
1203 W Pioneer Parkway
Arlington, TX 76013

JORPARKS, INC APPLICANT/DEVELOPER
16475 Dallas Parkway Suite 450 (214) 778-1261
Addison, Texas 75001
Contact: Shane Jordan

JBI PARTNERS, INC. SURVEYOR/ENGINEER
2121 Midway Road, Suite 300 (972) 248-7676
Carrollton, Texas 75006
Contact: Jerry Sylo
TBPE No. F-436 TBPLS No. 10076000

Exhibit A - Boundary Description
Page 2 of 2

Drawing: R:\Projects\10004-10004-10 Acres\Phase 1\Planning\Draw\10004-Zoning\Plan\ang Saved By: kough Plot Date: 11/20/2021 6:54 AM



**CITY OF GRAND PRAIRIE
ORDINANCE**

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: ZON-21-11-0015 - Zoning Change/Concept Plan - Villas at Bardin (City Council District 4). Zoning Change from PD-140B for Single Family Detached Use to a Planned Development District for Townhome Use and a Concept Plan for a townhome development with 87 units on 10 acres. A portion of Block 4, Sheffield Village Addition, Phase IV, City of Grand Prairie, Tarrant County, Texas zoned Planned Development (PD 140B) with Single-Family detached uses located in the southeast corner of Bardin Rd. and Magna Carta Blvd. with an approximate address of 2801 W Bardin Rd The (On February 14, 2022, The Planning and Zoning Commission recommended approval by a vote of 5-2)

APPLICANT: Jerry Sylo, JBI Partners

RECOMMENDED ACTION: Staff is unable to recommend approval of this request due to its inconsistency with the Future Land Use Map.

SUMMARY:

Zoning Change/Concept Plan request from PD-140B for Single-Family Detached Use to a Planned Development District for Townhome Use and a Concept Plan for a townhome development with 87 units on 10 acres. A portion of Block 4, Sheffield Village Addition, Phase IV, City of Grand Prairie, Tarrant County, Texas zoned Planned Development (PD 140B) with Single-Family detached uses located in the southeast corner of Bardin Rd. and Magna Carta Blvd. with an approximate address of 2801 W Bardin Rd.

On January 10, 2022, the Planning and Zoning commission tabled the case pending follow-up meetings with the neighborhood. Following the neighborhood meeting, additional screening between the detention and rear entry homes on the southern portion of the site was added. Additionally, a variance for lot coverage was added from 60% to 70%.

PURPOSE OF REQUEST:

The applicant wishes to change the existing Single-Family (SF) zoning to townhome zoning with a minimum lot size of 1,930 square feet. In general, a zoning change allows the existing zoning map to be modified to permit the proposed development.

The Planned Development District (PD) is intended to provide for design flexibility in combining and mixing land use units. It is not intended for nominal changes to the existing ordinance requirements that are established in the various zoning districts. A Planned Development District allows for deviation from standard ordinance requirements as long as those deviations continue to meet the intent of the ordinance.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	PD-395 General Retail (GR) PD-140 Multi-Family (MF) and General Retail (GR)	Undeveloped RCCG Grace Chapel/ Esporta Fitness Concorde Career College/The Residences at 3000 Bardin
South	PD-140 Single-Family (SF)	Existing Residential
West	PD-140 Multi-Family (MR)	Arioso Apartments & Townhomes
East	PD-140B Single-Family (SF)	Existing Residential

HISTORY:

- Concurrently: Comprehensive Plan Amendment to change the Future Land Use Map from High Density Residential to Medium Density Residential (Case Number CPA-21-12-0002).
- August 9, 1994: City Council approved a zoning change from Planned Development (PD-140) with Commercial (C) and Office (O) uses to Single-Family (SF) and Multi-Family uses (Case Number Z940404).

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The proposal includes 87 townhome units on individually platted lots with private streets that will be maintained by the HOA. Each townhome unit will have a rear-entry garage that provides two garage parking spaces. The main access is from one point on Magna Carta Avenue with additional exit only/emergency access points on Magna Carta Avenue and Bardin Road.

The Concept Plan depicts the gated community with 1.5 acres of common open space. The site is designed so that townhomes front streets, open spaces, or interior mures. Architectural features include articulated facades and rooflines with varied materials as well as multiple window forms and roof features.

The proposed development will be owner-occupied with individually plated lots. Additionally, an HOA will be created at the time of final platting that will maintain common landscaping, screening walls, private streets, and any signage.

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

Future Land Use Map

The Future Land Use Map (FLUM) is intended as an outlook for the future use of land and the character of development in the community. The FLUM designates this site area as Low Density Residential which represents a traditional single-family detached neighborhood with up to six dwelling units per acre in general. The proposed use does not correspond with the FLUM. Approval of this request requires an amendment to the FLUM, changing the designation from Low Density Residential to Medium Density Residential. This change is being processed concurrently as Case Number CPA-22-12-0002.

Medium Density Residential represents single-family residential neighborhoods at densities between six and 12 dwelling units per acre. Medium density residential types take the form of townhomes, duplexes, and patio homes. Medium density residential can be used as a transitional use between low density areas and higher intensity uses, such as commercial, retail, and industrial activity. The proposal offers a transition from high density residential to low density areas to the south and east.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The property will be subject to the following requirements along with Article 10 (Parking and Loading Standards) and Appendix W (Residential Development Standards). The applicant is required to plat the property to show all easements and private streets. Table 2 depicts a comparison between the Unified Development Code (UDC) requirements and those proposed with notation regarding applicable variances.

Table 2. Density and Dimensional Requirements

Standard	Article 6 Density & Dim. (SF-Townhouse)	Proposed	Compliance
Max. Density (DUA)	13.2	8.7	Yes
Min. Living Area (Sq. Ft.)	70% = or >1,300	1,500	Yes
Min. Lot Area (Sq. Ft.)	1,680-3,299 = 30% (Max) = or >3,300 = 70% (Min)	1,930 = 100% 0%	No
Min. Lot Width (Ft.)	21-29 FT = 30% (Max) = or >30 FT = 70% (Min)	22 = 100% 0%	No
Min. Lot Depth (Ft.)	80-99 FT = 30% (Max) = or >100 FT = 70% (Min)	88 = 100% 0%	No
Min. Front Yard Setback (Ft.)	17	9	No
Min. Rear Yard Setback (Ft.)	10	20	Yes
Min. Garage Setback-Alley (Ft.)	10	20	Yes
Min. Int. Side-Not Attached (Ft.)	5	5	Yes

Min. Int. Side-Attached (Ft.)	0	0	Yes
Min. Side-Street (Ft.)	15	10	No
Max. Height (Ft.)	35 (3 Stories)	35 (3 Stories)	Yes
Max. Lot Coverage (%)	60	70	Variance

Parking

Table 3. Parking Requirements

Standard	Appendix W (UDC)	Proposed	Compliance
2 Garage Parking spaces	2 per unit	2 per unit	Yes
Guest Parking Spaces	1 per 5 units	2 per unit	Yes

VARIANCES:

The applicant is requesting the following variances:

1. Minimum Lot Area:
 - a. Minimum lot area of 1,680-3,299 Sq. Ft. (Max. 30%) – Applicant is proposing 100% of the lots be within this range.
 - b. Minimum lot area of 3,300 or greater square feet – Applicant is proposing 0% of the lots be within this range.
2. Minimum Lot Depth:
 - a. Minimum lot depth of 80-99 feet (Max. 30%) – The applicant is proposing 100% of the lots with an 88-foot depth.
 - b. Minimum lot depth greater than 100 feet (Min. 70%) – Applicant is proposing 0% in this range.
3. Minimum Lot Width:
 - a. Minimum lot width of 21-29 feet (Max. 30%) – The applicant is proposing 100% of the lots with a 22-foot width.
 - b. Minimum lot width greater than 30 feet (Min. 70%) – Applicant is proposing 0% lots within this range.
4. Minimum side yard on street/corner of 15 feet – The applicant is proposing 10 feet.
5. Maximum lot coverage of 60% - The applicant is proposing 70%.

ANALYSIS:

On Tuesday, August 17, 2021, the City of Grand Prairie City Council adopted the Housing Analysis Policy and Guidelines. The policy states that all future residential development should conform with policy guidelines. The proposed development aligns with the following guidelines:

- The proposal is accessible to amenities and services by walking or driving.
- The proposal corresponds to new non-residential development.
- The proposal reduces the economic burden on the resident by concentrating amenities and open spaces where use and maintenance can be shared.

On January 26, 2022, the applicant and Kelly Horn with the Arlington ISD met with the neighborhood and the following items were voiced:

- Kelly commented that there was not enough student population to build a school on the property. The two existing schools in the area are under capacity and the school age population is trending down and those schools could be closed in the coming years. Also, residents are also choosing to send their children to charter schools and Mansfield ISD. Additionally, if a school were constructed, it would be three stories.
- There was a consensus that the proposed neighborhood was attractive, both in terms of the homes and the neighborhood design.
- The main concern brought up by the neighbors was traffic. More specifically, how Bardin Road tapers to a 2-lane bridge as it crosses 360 and the backup caused by the downsizing. There was agreement that the problem is not because of the new neighborhood, nor is it something that Grand Prairie can control since the bridge is not within Grand Prairie's city limits. It was discussed how the townhomes will probably generate the least amount of traffic of any new type of development on this property. The applicant pointed out that if an elementary school was built and it had 500 children attend it, which is not unreasonable for an elementary school, the traffic count would be almost identical to the townhomes. The primary difference would be the school would create 2 major spikes in traffic (drop-off and pick-up), while the townhomes would create an increase of 56 cars/hour (1/minute) throughout the day.

RECOMMENDATION:

- On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 5-2.
- Staff is unable to recommend approval of this request due to its inconsistency with the Future Land Use Map. However, staff notes that the proposal includes desirable elements such as rear-entry garages and high-quality architecture. The development could also serve as a natural transition and buffer between high density residential and the abutting low density residential.

BODY:

AN ORDINANCE AMENDING THE ZONING ORDINANCE AND MAP TO REZONE A PORTION OF BLOCK 4, SHEFFIELD VILLAGE ADDITION, PHASE IV, CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS, FROM PLANNED DEVELOPMENT – 140B DISTRICT WITH SINGLE-FAMILY DETACHED USE TO A PLANNED DEVELOPMENT DISTRICT FOR TOWNHOME USE; SAID ZONING MAP AND ORDINANCE BEING ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990, REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; CONTAINING A SAVINGS CLAUSE; CONTAINING A SEVERABILITY CLAUSE; AND TO BECOME EFFECTIVE UPON ITS PASSAGE AND APPROVAL

WHEREAS, the owners of the property described herein below filed application with the City of Grand Prairie, Texas, petitioning an amendment of the Zoning Ordinance and map of said city so as to rezone and reclassify said property from its classification of Planned Development – 140B District with single-family detached use to a Planned Development District for Townhome Use; and

WHEREAS, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on February 14, 2022, after written notice of such public hearing before the Planning and Zoning Commission on the proposed rezoning had been sent to owners of real property lying within 300 feet of the property on which the change of classification is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property

for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

WHEREAS, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 5-2 to recommend approval to the City Council of Grand Prairie, Texas, of the request that the hereinafter described property be rezoned from its classification of Planned Development – 140B District with Single-Family Use to a Planned Development District for Townhome Use; and

WHEREAS, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 P.M. on March 1, 2022 to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Grand Prairie, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the proposed rezoning and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the use proposed on said property, as well as, the nature and usability of surrounding property, have found and determined that the property in question, as well as, other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance from its classification of Planned Development – 140B District for single-family use; and, by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:

SECTION 1. Ordinance Number 4779, being the Zoning Ordinance and Map of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

“AN ORDINANCE AMENDING IN ITS ENTIRETY CHAPTER 28 OF THE CODE OF ORDINANCES KNOWN AS THE ZONING ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20TH DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN...”

and passed and approved November 20, 1990, as amended, is hereby further amended to rezone from its classification of Planned Development – 140B District for Single-Family Use to a Planned Development District for Townhome Use; as described and depicted in Exhibit A - Boundary Description.

SECTION 2. The purpose of this planned development is to establish appropriate restrictions and development controls necessary to ensure predictable land development, safe and efficient vehicular and pedestrian circulation, compatible uses of land, and compliance with appropriate design standards.

SECTION 3. The following shall apply to development in the Planned Development District:

- A. Any zoning, land use requirements and restrictions not contained within this Planned Development Ordinance shall conform to those requirements for Single Family Townhouse (SF-Townhouse) district and Appendix W in the Unified Development Code (UDC), as amended, and as detailed on Exhibit B - Concept Plan.
- B. The development shall be in substantial conformance, as determined by the Planning and Development Director or designee, with attached Exhibit B – Concept Plan. The Concept Plan is intended to be a graphic depiction of the likely lot and block configuration, street layout and amenity plan of the development. It is not intended to constitute a final design or approval, implied or otherwise, of the development. The ultimate development design will be based on the development standards herein contained and/or site limitations at the time of site plan review and final platting.
- C. The building elevations shall be in substantial conformance, as determined by the Planning and Development Director or designee, with attached Exhibit C – Conceptual Building Elevations.
- D. Development Standards

Residential Townhomes shall be in conformance with the density, dimensional, and development standards of Single-Family Townhome (SF-Townhouse) district and Appendix W of the Unified Development Code (UDC), as amended, and as detailed on the Exhibit B – Concept Plan, incorporated herein by reference except for the following variances:

1. Minimum Lot Area:

- a. Minimum lot area of 1,680-3,299 Sq. Ft. (Max. 30%) – Authorizing 100% of the lots to have a minimum lot area of 1,930 Sq. Ft.
- b. Minimum lot area of 3,300 or greater square feet (Min. 70%) – None required to be within this range.

2. Minimum Lot Depth:

- a. Minimum lot depth of 80-99 feet (Max. 30%) – Authorizing 100% of the lots to have an 88-foot depth.
- b. Minimum lot depth greater than 100 feet (Min. 70%) – None required to be in this range.

3. Minimum Lot Width:

- a. Minimum lot width of 21-29 feet (Max. 30%) – Authorizing 100% of the lots with a 22-foot width.
- b. Minimum lot width greater than 30 feet (Min. 70%) – None required within this range.

4. Minimum side yard on street/corner of 15 feet – Authorizing a minimum of 10 feet.

5. Maximum lot coverage of 60% - Authorizing 70%.

- E. A Planned Development Site Plan shall be approved by the City of Grand Prairie City Council prior to the issuance of any building permits.
- F. A Preliminary Plat and Final Plat shall be reviewed and approved by the City of Grand Prairie Planning and Zoning Commission prior to the issuance of any building permits.

SECTION 4. The terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

SECTION 5. If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such provisions and such holding shall not affect the validity of the remaining portions thereof.

SECTION 6. All ordinances or parts of ordinances in conflict herewith are specifically repealed. Provided that such repeal shall be only to the extent of such inconsistency and in all other respects this Ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered in this Ordinance.

SECTION 7. This Ordinance shall be in full force and effect from and after its passage and approval.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 1ST DAY OF MARCH 2022.

Ordinance No. #-2022

Zoning Case No. ZON-21-11-0015

Planned Development No. #



Exhibit B - Concept Plan
Page 1 of 2

Item 27.



DATA SOURCES

BOUNDARY:
ON THE GROUND SURVEY (DISH)
RANGE OF SURVEY
WEB BASED/PUBLIC INFORMATION

ENCUMBRANCES:
WEB BASED/PUBLIC HEARLE B
WEB BASED/PUBLIC INFORMATION

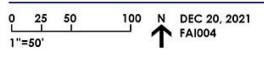
TOPOGRAPHY:
ON THE GROUND SURVEY
MARCAS AERIAL TOPOGRAPHY
TEAM MARS
WEB BASED/PUBLIC INFORMATION

100 YEAR FLOOD PLAIN:
FLOOD STUDY
TEAM MARS
WEB BASED/PUBLIC INFORMATION

DIRECTIONAL WATER:
ON THE GROUND ANALYSIS
WEB BASED/PUBLIC INFORMATION

NEIGHBORHOOD DATA

LOT SIZE (TYPICAL)	LOTS
22' X 88'	87



VILLAS AT BARDIN

CASE NO. ZON-21-11-0015

CONCEPT PLAN **JB**
GRAND PRAIRIE, TEXAS PARTNERS

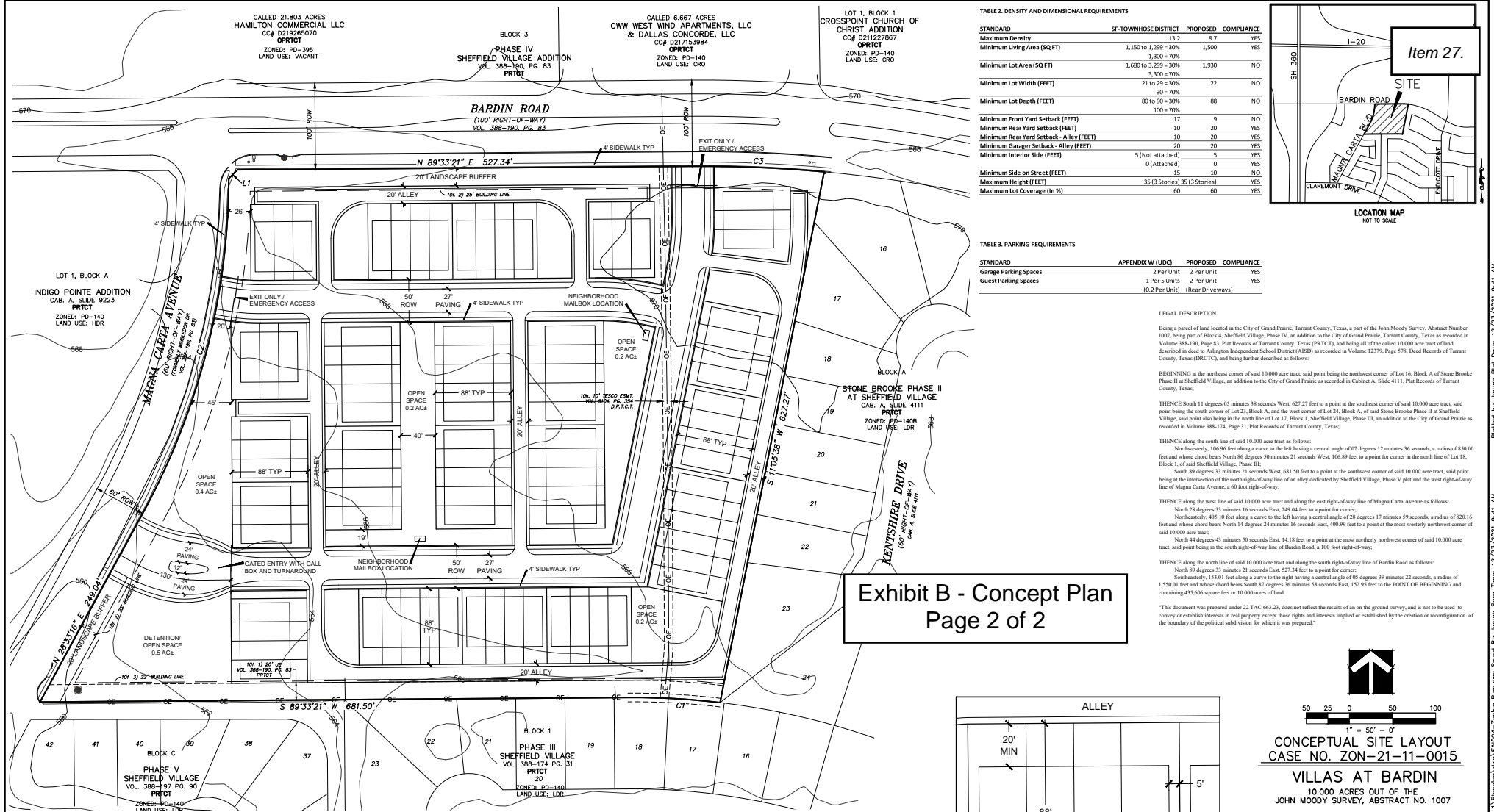


TABLE 2. DENSITY AND DIMENSIONAL REQUIREMENTS

STANDARD	SF-TOWNSHOE DISTRICT	PROPOSED	COMPLIANCE
Maximum Density	13.2	8.7	YES
Minimum Living Area (SQ FT)	1,150 to 1,299 = 30%	1,500	YES
	1,300 = 70%		
Minimum Lot Area (SQ FT)	1,680 to 3,299 = 30%	1,930	NO
	3,300 = 70%		
Minimum Lot Width (FEET)	21 to 29 = 30%	30 = 70%	22
Minimum Lot Depth (FEET)	80 to 90 = 30%	100 = 70%	88
Minimum Front Yard Setback (FEET)	17	9	NO
Minimum Rear Yard Setback (FEET)	10	20	YES
Minimum Rear Yard Setback - Alley (FEET)	10	20	YES
Minimum Garage Setback - Alley (FEET)	10	20	YES
Minimum Interior Side (FEET)	5 (Not Attached)	5	YES
	0 (Attached)	0	YES
Minimum Side on Street (FEET)	15	10	NO
Maximum Height (FEET)	35 (3 Stories) 35 (3 Stories)		YES
Maximum Lot Coverage (in %)	60	60	YES

TABLE 3. PARKING REQUIREMENTS

STANDARD	APPENDIX W (UDC)	PROPOSED	COMPLIANCE
Garage Parking Spaces	2 Per Unit	2 Per Unit	YES
Guest Parking Spaces	1 Per 5 Units	2 Per Unit	YES
	(0.2 Per Unit) (Rear Driveways)		



LEGAL DESCRIPTION

Being a parcel of land located in the City of Grand Prairie, Tarrant County, Texas, a part of the John Moody Survey, Abstract Number 1007, being part of Block 4, Sheffield Village, Phase IV, an addition to the City of Grand Prairie, Tarrant County, Texas as recorded in Volume 388-198, Page 83, Plat Records of Tarrant County, Texas (PRCTC), and being all of the said 10,000 acre tract of land described in deed to Arlington Independent School District (AISD) as recorded in Volume 1279, Page 578, Deed Records of Tarrant County, Texas (DRCTC), and being further described as follows:

BEGINNING at the northeast corner of said 10,000 acre tract, said point being the northwest corner of Lot 16, Block A of Stone Brooke Phase II at Sheffield Village, an addition to the City of Grand Prairie as recorded in Cabinet A, Slide 4111, Plat Records of Tarrant County, Texas;

THENCE South 11 degrees 05 minutes 38 seconds West, 627.27 feet to a point at the southeast corner of said 10,000 acre tract, said point being the south corner of Lot 23, Block A, and the west corner of Lot 24, Block A, of said Stone Brooke Phase II at Sheffield Village, said point also being in the north line of Lot 17, Block 1, Sheffield Village, Phase III, an addition to the City of Grand Prairie as recorded in Volume 388-174, Page 31, Plat Records of Tarrant County, Texas;

THENCE East along the south line of said 10,000 acre tract as follows:

Northwesterly, 106.96 feet along a curve to the left having a central angle of 07' degrees 12 minutes 36 seconds, a radius of 850.00 feet and whose chord bears North 86 degrees 50 minutes 21 seconds West, 106.89 feet to a point for corner in the north line of Lot 18, Block 1, of said Sheffield Village, Phase III;

South 89 degrees 33 minutes 21 seconds West, 681.50 feet to a point at the southwest corner of said 10,000 acre tract, said point being at the intersection of the north right-of-way line of an alley delineated by Sheffield Village, Phase V and the west right-of-way line of Magna Carta Avenue, a 60 foot right-of-way;

THENCE along the west line of said 10,000 acre tract and along the east right-of-way line of Magna Carta Avenue as follows:

North 28 degrees 33 minutes 16 seconds East, 249.04 feet to a point for corner;

Northwesterly, 465.19 feet along a curve to the left having a central angle of 28 degrees 17 minutes 59 seconds, a radius of 820.16 feet and whose chord bears North 14 degrees 24 minutes 16 seconds East, 400.99 feet to a point at the most westerly northwest corner of said 10,000 acre tract;

North 44 degrees 43 minutes 59 seconds East, 14.18 feet to a point at the most northerly northwest corner of said 10,000 acre tract, said point being in the south right-of-way line of Bardin Road, a 100 foot right-of-way;

THENCE along the north line of said 10,000 acre tract and along the south right-of-way line of Bardin Road as follows:

North 89 degrees 33 minutes 21 seconds East, 527.34 feet to a point for corner;

Southwesterly, 153.01 feet along a curve to the right having a central angle of 08 degrees 39 minutes 22 seconds, a radius of 1,550.01 feet and whose chord bears South 87 degrees 36 minutes 58 seconds East, 152.95 feet to the POINT OF BEGINNING and containing 45,666 square feet or 10,000 acres of land.

"This document was prepared under 22 TAC 663.23, does not reflect the results of an as on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivisions for which it was prepared."

Exhibit B - Concept Plan
Page 2 of 2

LINE TABLE

LINE	BEARING	LENGTH
L1	N 44°35'00" E	14.18'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	850.00'	106.96'	7° 12' 36"	N 86°50'21" W	106.89'
C2	820.16'	405.10'	28° 17' 59"	N 14°24'16" E	400.99'
C3	1550.01'	153.01'	5° 39' 22"	S 87°36'58" E	152.95'

NOTES:

- SIDEWALKS ALONG STREETS SHOWN IN ACCORDANCE WITH CITY OF GRAND PRAIRIE UNIFIED DEVELOPMENT CODE.
- FINAL SIDEWALK LOCATION PLAN WITHIN THE OPEN SPACES WILL BE DETERMINED WITH SITE PLAN.

NEIGHBORHOOD DATA

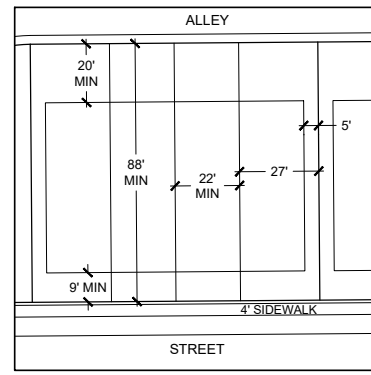
GROSS ACREAGE: 10.00 AC±

TYPICAL LOT SIZE: 22' x 88' MIN = 87 HOMES

RESIDENTIAL DENSITIES: 8.7 HOMES/ACRE

OPEN SPACE PROVIDED: 1.5 ACRES±

PROPOSED LAND USE: SF-T



CONCEPTUAL SITE LAYOUT
CASE NO. ZON-21-11-0015

VILLAS AT BARDIN
 10,000 ACRES OUT OF THE
 JOHN MOODY SURVEY, ABSTRACT NO. 1007
 CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

ARLINGTON ISD **OWNER**

1203 W Pioneer Parkway
 Arlington, TX 76013

JORPARKS, INC. **APPLICANT/DEVELOPER**

16475 Dallas Parkway Suite 450 (214) 778-1261
 Addition, Texas 75001
 Contact: Shane Jordan

JBI PARTNERS, INC. **SURVEYOR/ENGINEER**

2121 Midway Road, Suite 300 (972) 248-7676
 Carrollton, Texas 75006
 Contact: Jerry Syle
 TBPE No. F-438 TPLS No. 10076000
 Resubmitted: December 23, 2021
 Resubmitted: December 6, 2021
 Submitted: November 30, 2021

Sheet 1 of 1

Drawing: R: Projects\Y10054 - Villas at Bardin\Phase I\Planning\Map\Y10054-Zoning\Plan-Eng_Sheet By: Kough Saw Time: 12/23/2021 9:41 AM
 Plotted by: Kough Plot Date: 12/23/2021 9:41 AM





**CITY OF GRAND PRAIRIE
ORDINANCE**

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: SUP-21-12-0024 – Specific Use Permit/Site Plan – Gateway Multi-Family (City Council District 5) Specific Use Permit/Site Plan for a multi-family development with 310 units on 5.72 acres. Tracts 8, 8.1, 8.2, and 8.3 of Michael Farrans Survey, Abstract No. 469, City of Grand Prairie, Dallas County, Texas, zoned PD-217 with multi-family uses, within the Belt Line Corridor Overlay District, and generally located at the southwest corner of I-30 and the future extension of Stadium Dr. with an approximate address of 1175 Stadium Dr (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)

APPLICANT: David Godvin, OHT Partners

RECOMMENDED ACTION: In general, the site plan aligns with the Unified Development Code (UDC) along with the Gateway-Omni Plan for the area. The Development Review Committee recommends approval.

SUMMARY:

Specific Use Permit/Site Plan for a multi-family development with 310 units on 5.72 acres. Tracts 8, 8.1, 8.2, and 8.3 of Michael Farrans Survey, Abstract No. 469, City of Grand Prairie, Dallas County, Texas, zoned PD-217 with multi-family uses, within the Belt Line Corridor Overlay District, and generally located at the southwest corner of I-30 and the future extension of Stadium Dr. with an approximate address of 1175 Stadium Dr.

PURPOSE OF REQUEST:

The existing Planned Development (PD-217) requires a Specific Use Permit (SUP) for multi-family development. The applicant is proposing a multi-family development with 310 units. The complex features a combination four/five story structure with an interior parking garage. The plans include a resort style pool, fitness center, and clubhouse. Additionally, there will be a large and small dog parks, community areas, and private yards on some ground floor units.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	IH-30 and Planned Development (PD-217) and MF-1	Vacant and Derby Park Apartments
South	Planned Development (PD-217)	The Church on the Move Ministries
West	Planned Development (PD-217)	North Texas Electrical Training IDEW Local Union 20 / Credit Union
East	Planned Development (PD-217)	Vacant

HISTORY:

- September 17, 1996: The City Council approved (PD-217) (Case Number CPA960901/Z960901).

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The Concept Plan proposes a multi-family development with the following elements:

- 310 dwelling units;
- Wrap-style parking garage;
- Amenities-resort-style pool, shade structure, lounge areas, community clubhouse, and fitness center; and
- Dog park for large and small dogs.

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

Future Land Use Map

The Future Land Use Map (FLUM) is designed to facilitate the efficient, sustainable, and fiscally sound development and redevelopment of Grand Prairie. The purpose of the FLUM is to serve as an outlook for the future use of land and the character of development in the community. The FLUM, along with other community objectives, is used to guide land use decisions.

The FLUM designates this location as Mixed-Use. Areas with this land use designation are intended for an appropriately planned mixture of non-residential and residential uses. They are referred to as mixed-use because it is envisioned that these areas would be integrated developments of retail, public, office, and entertainment, with a residential component appropriately blended into larger scale buildings that would otherwise be used to support those uses independently. Mixed-use areas are intended to provide flexibility for the City and the development community in order to encourage innovative, unique, and sustainable developments. Walkable connections to shopping and dining should be key components of the mixed-use areas.

The Gateway at Grand Prairie Plan

The Gateway at Grand Prairie Plan is a City-initiated master plan for the I-30 and Belt Line area. The plan was done in 2017 and managed by the City of Grand Prairie's Economic Development Department. One of the objectives of the plan is to create a unique and appealing mixed use and lifestyle environment. The plan includes 124 acres in the I-30 Corridor and depicts retail, multi-family, office, and hotel uses. The plan depicts multi-family use at the subject property.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

Table 2 illustrates that the Planned Development (PD-217) development standards along with other UDC requirements not addressed in PD-217.

Table 2. Density and Dimensional Requirements

Standard	PD 217 and UDC*	Proposed	Complies
Min. Lot Area (Sq. Ft.)	15,000	249,019	Yes
Min. Lot Width (Ft.)	150	456	Yes
Min. Lot Depth (Ft.)	100	588	Yes
Min. Front Yard on Street (Ft.)	25	25	Yes
Min. Side Yard (Ft.)	5	37	Yes
Maximum Height (Ft.)	No Limit	4 / 5 stories	Yes
Maximum Density (DU/AC)	26 (MF-3) *	54	Variance
Minimum Living Area (Sq. Ft.)	600*	600	Yes
Maximum % Single Bed Units	60%*	77%	Variance

Parking Requirements

The table below summarizes the parking requirements. The proposal does not meet all of the parking requirements.

Table 3. Parking

Standard	Article 10 / UDC	Provided	Meets
1.25 Parking Spaces/One-Bedroom	239 units - 299	299	Yes
2 Parking Spaces/Two-Bedroom-Three-Bedroom	71 units -142	142	Yes
Total Multi-Family Parking Spaces	441	461	Yes
Covered Parking	20%	240 (52%)	Yes
Garage Parking (individual)	30%	0 (0%)	Variance
Guest Parking	10%	21 (4.6%)	Variance

Landscape and Screening

The property meets the landscape and screening requirements from Appendix W, and Article 8 of the UDC. Screening includes wrought iron fencing with masonry columns along all sides of the property.

Table 4. Landscape & Screening Requirements

Standard	Required	Provided	Meets
Total site: 249,018 Sq. Ft. Landscape Area 20%	49,804	50,439	Yes
Street Trees (25-50 Ft. Spacing)	11	11	Yes
Parking Lot Trees (1/20 Spaces) 133 Open spaces	7	14	Yes
Site Trees (Total) (1 tree/500 Sq. Ft.)	100	43	Variance
Shrubs 1-5 gal. per 50 Sq. Ft. Of require Landscape Area	997	1,220	Yes
Fence along ROW	Wrought Iron W/ Masonry Columns	Decorative Metal Fence with Brick Column	Yes
Other Perimeter Fencing	Fiber Cement or Wood	Wood with steel powder coated post	Yes
Dumpster Enclosure	Masonry Enclosure	Concierge pickup with compactor located in parking garage	Yes

Building Design

Building materials include a combination of brick, various forms of fiber cement lap siding, and metal panel. The structure exhibits color variations along with articulation to create visual interest. Additionally, the recessed balconies project a clean appearance.

Project Amenities

Appendix W requires multi-family developments to provide amenities from three categories:

- Environmentally friendly features
- High-quality features or designs
- Technology

The project provides the required amenities, which is summarized in the table below.

Table 5. Appendix W Amenities

Amenity	Tier		
	Environmentally Friendly-Building	High Quality Features or Designs	Technology
“Smart”-light and thermostat controls	1		
Electric car charging station (2 min.)	1		
Permeable pavement 5% or more of total	2		
Electric car charging station (2 minimum)	1		
High efficiency windows on residential and common bld.	2		
Permeable pavement 5% or more of total	2		
Efficient Roofing-.7 reflectance / .75 emittance	2		
Recycled / locally sourced materials	2		
Recycling Program for Residents	2		
Additional insulation	3		

LED or low-wattage lighting	3		
Bicycle Parking	3		
Outdoor recreation spaces with amenities	3		
Big and small dog parks	3		
Granite countertops or similar		1	
Upgraded Flooring		1	
Upgraded Woodwork		1	
Upgraded cabinetry		1	
Upgraded Light Fixtures		2	
Walk-in Closets		2	
Upgraded Bathroom and Kitchen Hardware		2	
Full-Size Stainless-Steel Major Appliances		2	
8-foot doors leading to each room of a unit		2	
Integrated USB ports within all units			3
App- functionality: door locks, thermostat, etc			3
App – Communication with management			3
Wi-Fi Internet Access in Common Areas			3

VARIANCES:

1. Maximum Density on MF-3 is 26 Dwelling Units per acre – The applicant is proposing 54.
2. Maximum Single bedroom units is 60% - The applicant is proposing 77%.
3. Garage Parking (Individual): 30% of total required – Applicant is proposing 0 individual garages. The parking garage provides 52% covered parking which exceeds the 20% requirement.
4. Guest parking requirement of 10% - The applicant is providing 4.6%.
5. Site tree requirement of 1 per 500 sq. ft. (100 required for site) – The applicant is providing 43 trees due to a visibility easement along IH-30 near an existing billboard.

ANALYSIS:

PD-217 was created in 1996 to create a unified area with a distinct identity as a family oriented recreational destination. PD-217 allows multi-family use with City Council approval of a Specific Use Permit. The Gateway is a more recent vision for the area and shows multi-family use at the subject property. The proposed development aligns with the Gateway plan.

RECOMMENDATION:

- On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0.
- In general, the site plan aligns with the Unified Development Code (UDC) along with the Gateway plan for the area. The Planning and Zoning Commission and City Council should assess the justification for the variance to the maximum allowable density based on the location and future plans for the area. If justified, the Development Review Committee recommends approval with the following condition:
 The applicant shall address waste removal to the satisfaction of Environmental Services and Solid Waste.

BODY:

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS AMENDING THE ZONING ORDINANCE AND MAP BY SHOWING THE LOCATION, BOUNDARY, AND USE OF CERTAIN PROPERTY FOR A SPECIFIC USE PERMIT FOR MULTI-FAMILY DEVELOPMENT WITHIN THE BELT LINE CORRIDOR OVERLAY DISTRICT: BEING TRACTS 8, 8.1, 8.2, AND 8.3 OF MICHAEL FARRANS SURVEY, ABSTRACT NO. 469, CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS; SAID ZONING MAP AND ORDINANCE BEING NUMBERED ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; PROVIDING A PENALTY; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE AFTER PUBLICATION

WHEREAS, the owners of the property described herein below filed application with the City of Grand Prairie, Texas, petitioning an amendment of the Zoning Ordinance and Map of said city so as to amend the zoning designation of said site to include a Specific Use Permit for a Multi-Family Development; and

WHEREAS, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on February 14, 2021, after written notice of such public hearing before the Planning and Zoning Commission on the proposed Specific Use Permit had been sent to owners of real property lying within 300 feet of the property on which the creation of a Specific Use Permit for a Restaurant with a Drive-Through is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

WHEREAS, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 7 to 0 to recommend to the City Council of Grand Prairie, Texas, that said Zoning Ordinance and Map be amended to allow a Specific Use Permit for a Multi-Family Development; and

WHEREAS, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 o'clock P.M. on March 1, 2022, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the, Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the Specific Use Permit and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the specific use proposed on said property, as well as the nature and usability of surrounding property, have found and determined that the property in question, as well as other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance to the extent that a specific use may be made of said property as herein provided and by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:

SECTION 1. Ordinance Number 4779, being the Unified Development Code of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

"THE UNIFIED DEVELOPMENT CODE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20TH DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN..."

passed and approved November 20, 1990, as amended, is hereby further amended so as to establish a Specific Use Permit for a Multi-Family Development on Tracts 8, 8.1, 8.2, and 8.3 of Michael Farrans Survey, Abstract No. 469, City of Grand Prairie, Dallas County, Texas, as depicted in Exhibit A – Boundary Description, attached hereto.

SECTION 2. The purpose of this Ordinance is to provide the appropriate restrictions and development controls that ensure this Specific Use Permit is compatible with the surrounding development and zoning and to also ensure that the development complies with the City’s Comprehensive Plan and Unified Development Code.

SECTION 3. For development and operations of a Multi-Family Development, the following standards and conditions are hereby established as part of this ordinance:

1. The development shall adhere to the City Council approved Exhibit B - Site Plan, Exhibit C - Landscape Plan, Exhibit D - Building Elevations, and Exhibit E - Appendix W Checklist Items of this ordinance, which are herein incorporated by reference.
2. The City Council has granted the variances listed below.
 - a. Variance to the maximum allowable density to allow 54 dwelling units per acre.
 - b. Variance to the maximum allowable percentage of single bedroom units to allow 77% single bedroom units.
 - c. Variance to required percentage of individual garage parking spaces to allow a common parking garage for 52% of required parking spaces.
 - d. Variance to required guest parking to allow 4.6% guest parking.
 - e. Variance to the required number of site trees to allow a landscape plan with 43 trees.
3. The developer shall address waste removal to the satisfaction of Environmental Services and Solid Waste.

SECTION 4. The operations of a Multi-Family Development shall comply with the following:

1. By this Ordinance, this Specific Use Permit shall automatically terminate in accordance with Section 5.4.1 of the Unified Development Code if a Certificate of Occupancy is not issued for said use within one (1) year after City Council adoption of this Ordinance, or upon cessation of said use for a period

of six (6) months or more.

2. It shall be unlawful for the owner, manager, or any person in charge of a business or other establishment to violate the conditions imposed by the City Council when a Specific Use Permit is granted, and the violation of those conditions could result in a citation being issued by the appropriate enforcement officers of the City of Grand Prairie. Violation of this provision may be punishable in accordance with Section 1-8 of the Code of Ordinances of the City.
3. This Specific Use Permit shall run with the land and therefore may be transferred from owner to owner; however, each new owner shall obtain a new Certificate of Occupancy.
4. The Certificate of Occupancy shall note the existence of this Specific Use Permit by its number and title.
5. The operation of the facility shall be in strict compliance with all requirements of the Environmental Services Department, Building Inspections, Police Department and Fire Administration.
6. Any unsafe or unauthorized operations or activities may be determined as grounds for revocation of the Specific Use Permit by the City Council.

SECTION 5. That it is further provided that in the case a section, clause, sentence or part of this Ordinance shall be deemed or adjudicated by a court of competent jurisdiction to be invalid, then such invalidity shall not affect, impair or invalidate the remainder of this Ordinance.

SECTION 6. That a violation of this Ordinance is a misdemeanor punishable in accordance with Section 1-8 of the Code of Ordinances of the City of Grand Prairie, Texas. The penalty provided herein shall be cumulative of other remedies provided by State law, and the power of injunction as provided in Texas Local Government Code Section 54.016, as amended, may be exercised in enforcing this ordinance whether or not there has been a complaint filed.

SECTION 7. That the Unified Development Code of the City of Grand Prairie, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

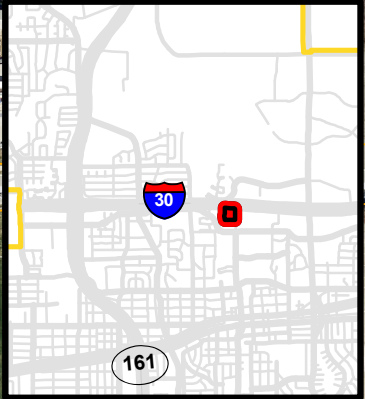
SECTION 8. That the terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

SECTION 9. That all ordinances or parts of ordinances in conflict herewith are specifically repealed.

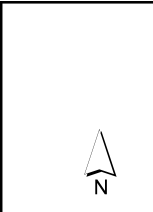
SECTION 10. That this Ordinance shall be in full force and effect from and after its passage, approval, and publication.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 1ST DAY OF MARCH 2022.

**ORDINANCE NO. #-2022
SPECIFIC USE PERMIT NO. #
CASE NO. SUP-21-12-0024**

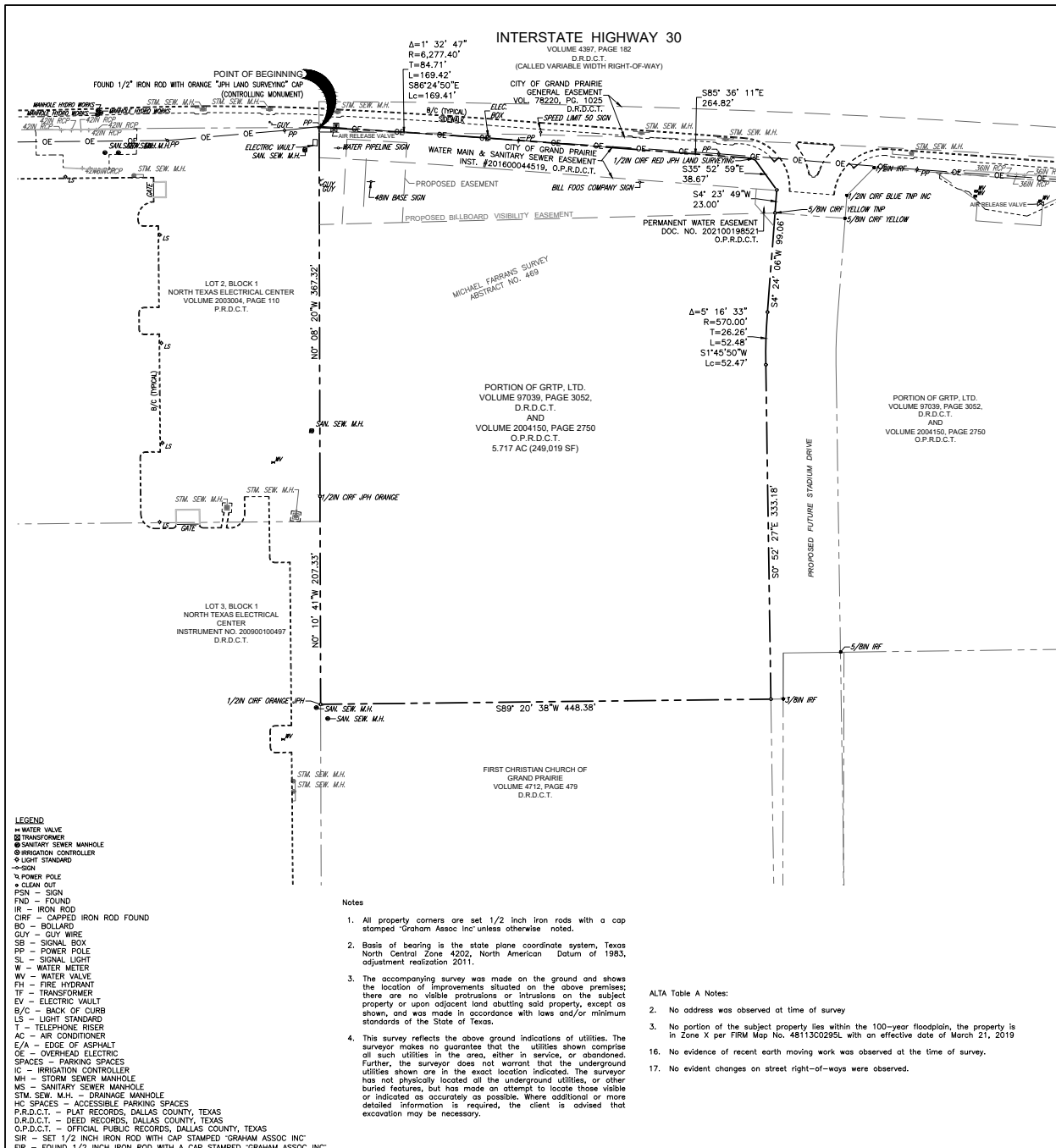


CASE LOCATION MAP
SUP-21-12-0024 - SUP/Site Plan
Gateway Multi-Family



City of Grand Prairie
Development Services
 ☎ (972) 237-8255
 🌐 www.gptx.org

Item 28.



LEGAL DESCRIPTION

Being a 5.717 acre tract of land situated in the Michael Farrans Survey, Abstract No. 469, Dallas County, Texas and being a portion of a tract of land described by deed to GRTP, LTD., as recorded in Volume 97039, Page 3052; Deed Records, Dallas County, Texas, and Volume 2004150, Page 2750; Deed Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a found 1/2 inch iron rod with an orange cap stamped 'JPH LAND SURVEYING' being in the existing south right-of-way line of Interstate Highway 30 (having a variable width right-of-way), also being in the northeast corner of Lot 2, Block 1, North Texas Electrical Center, as recorded in Volume 2003004, Page 110, Plat Records, Dallas County, Texas, and being in the west line of said GRTP, LTD. tract, for the beginning of a curve to the right having a radius of 6,277.40 feet, a central angle of 01°32'47", and a long chord which bears South 86°24'50" East, 169.41 feet;

THENCE along said curve to the right and along said existing south right-of-way line, an arc length of 169.42 feet to a point;

THENCE South 85°36'11" East, continuing along said existing south right-of-way line, a distance of 264.82 feet to a found 1/2 inch iron rod with red cap stamped 'JPH LAND SURVEYING';

THENCE South 35°52'59" East, a distance of 38.67 feet to a set 1/2 inch iron rod with cap stamped 'GRAHAM ASSOC INC'(GA);

THENCE South 04°23'49" West, along the north line of said Iron Nassar tract, a distance of 23.00 feet to a found 5/8 inch iron rod with yellow cap stamped 'TNP';

THENCE South 04°24'06" West, leaving said existing south right-of-way line, a distance of 99.06 feet to a set 1/2 inch iron rod with 'GA' cap, for the beginning of a tangent curve to the left having a radius of 570.00 feet, a central angle of 05°16'33", and a long chord which bears South 01°45'50" East, 52.47 feet;

THENCE along said tangent curve to the left and along said existing south right-of-way line, an arc length of 52.48 feet to a set 1/2 inch rod with 'GA' cap;

THENCE South 00°52'27" East, a distance of 333.18 feet to a set 1/2 inch rod with 'GA' cap, being in the south line of said GRTP, LTD. tract and being in the north line of a tract of land described by deed to First Christian Church of Grand Prairie, as recorded in Volume 4712, Page 479, Deed Records, Dallas County, Texas, being a common line;

THENCE South 89°20'38" West, along said common line, a distance of 448.38 feet to a found 1/2 inch rod with an orange cap stamped 'JPH', being in the northwest corner of said First Christian Church of Grand Prairie tract and being in the east line of said Lot 2 and west line of said GRTP, LTD. tract, being a common line;

THENCE North 00°10'41" West, along said common line, a distance of 207.33 feet to a found 1/2 inch iron rod with an orange cap stamped 'JPH';

THENCE North 00°08'20" West, continuing along said common line, distance of 367.32 feet to the POINT OF BEGINNING and CONTAINING 249,019 square feet, 5.717 acres of land, more or less.

The property described herein is the same as the American Title Insurance Company of No. 20210442 of October 25, 2021, 8:00 AM, issued November 09, 2021, and being more particularly described as otherwise noted as to their effect on the subject property.

- ITEM 10:
- Utilities, sidewalks, sanitary sewers and/or drainage easement granted to the City of Grand Prairie, by instrument dated March 7, 1978, recorded in Volume 78220, Page 1025 of the Deed Records of Dallas County, Texas. (DOES AFFECT AS SHOWN)
 - Drainage easement granted to the State of Texas, by instrument dated January 21, 2016, recorded under Document No. 201600017754 of the Official Public Records of Dallas County, Texas. (DOES NOT AFFECT)
 - Water main and sanitary sewer easement granted to the City of Grand Prairie, by instrument dated February 8, 2016, recorded under Document No. 201600044519 of the Official Public Records of Dallas County, Texas. (DOES AFFECT AS SHOWN)
 - Overhead and/or underground electric supply and communications facilities easement granted to Oncor Electric Delivery Company LLC, by instrument dated October 16, 2017, recorded under Document No. 201700309213 of the Official Public Records of Dallas County, Texas. (DOES NOT AFFECT)
 - Limitation of access to Interstate Highway 30 as set forth in Deed to the State of Texas recorded under Document No. 20160017755 of the Official Public Records of Dallas County, Texas. (DOES AFFECT. SUBJECT TO TERMS AND CONDITIONS)
 - Water main easement granted to the City of Grand Prairie, by instrument dated October 4, 2021, recorded under Document No. 202100198521 of the Official Public Records of Dallas County, Texas. (DOES AFFECT AS SHOWN)

Surveyors Certificate:

To: First American Title Insurance Company
OHT Partners, LLC, a Texas limited liability company,
GRTP, Ltd., a Texas limited partnership

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standards Detail Requirements for ALTA/NSPS Land Title Survey jointly established and accepted by ALTA and NSPS and includes, without limitations, items 1, 2, 3, 4, 8, 11(observe), 13, 16, 17, and 18 of Table A thereof.

The field work was completed on JANUARY 15, 2021.
NOVEMBER 12, 2021
Date of Map

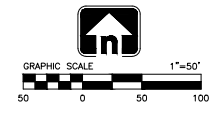
WESLEY K. BETTENDORF R.P.L.S.
Texas Registration No. 6989



- LEGEND
- WATER VALVE
 - TRANSFORMER
 - SANITARY SEWER MANHOLE
 - IRRIGATION CONTROLLER
 - LIGHT STANDARD
 - SIGN
 - POWER POLE
 - CLEAN OUT
 - PSN - SIGN
 - FND - FOUND
 - IR - IRON ROD
 - CIRF - CAPPED IRON ROD FOUND
 - BO - BOLLARD
 - GUY - GUY WIRE
 - SB - SIGNAL BOX
 - PP - POWER POLE
 - SL - SIGNAL LIGHT
 - W - WATER METER
 - WV - WATER VALVE
 - FH - FIRE HYDRANT
 - TF - TRANSFORMER
 - EY - ELECTRIC VAULT
 - B/C - BACK OF CURB
 - LS - LIGHT STANDARD
 - T - TELEPHONE RISER
 - AC - AIR CONDITIONER
 - E/A - EDGE OF ASPHALT
 - OE - OVERHEAD ELECTRIC
 - SPACES - PARKING SPACES
 - IC - IRRIGATION CONTROLLER
 - MH - STORM SEWER MANHOLE
 - MS - SANITARY SEWER MANHOLE
 - STM SEW. M.H. - STORM SEWER MANHOLE
 - HC SPACES - ACCESSIBLE PARKING SPACES
 - P.R.D.C.T. - PLAT RECORDS, DALLAS COUNTY, TEXAS
 - D.R.D.C.T. - DEED RECORDS, DALLAS COUNTY, TEXAS
 - O.P.D.C.T. - OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
 - SIR - SET 1/2 INCH IRON ROD WITH CAP STAMPED 'GRAHAM ASSOC INC'
 - FIR - FOUND 1/2 INCH IRON ROD WITH A CAP STAMPED 'GRAHAM ASSOC INC'

- Notes
- All property corners are set 1/2 inch iron rods with a cap stamped 'Graham Assoc Inc' unless otherwise noted.
 - Basis of bearing is the state plane coordinate system, Texas North Central Zone 4202, North American Datum of 1983, adjustment realization 2011.
 - The accompanying survey was made on the ground and shows the location of improvements situated on the above premises; there are no visible protrusions or intrusions on the subject property or upon adjacent land abutting said property, except as shown, and was made in accordance with laws and/or minimum standards of the State of Texas.
 - This survey reflects the above ground indications of utilities. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service, or abandoned. Further, the surveyor does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located all the underground utilities, or other buried features, but has made an attempt to locate those visible or indicated as accurately as possible. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

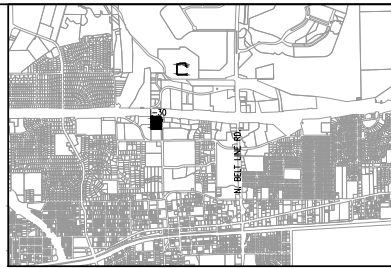
- ALTA Table A Notes:
- No address was observed at time of survey.
 - No portion of the subject property lies within the 100-year floodplain, the property is in Zone X per FIRM Map No. 48113C0295L with an effective date of March 21, 2019.
 - No evidence of recent earth moving work was observed at the time of survey.
 - No evident changes on street right-of-ways were observed.



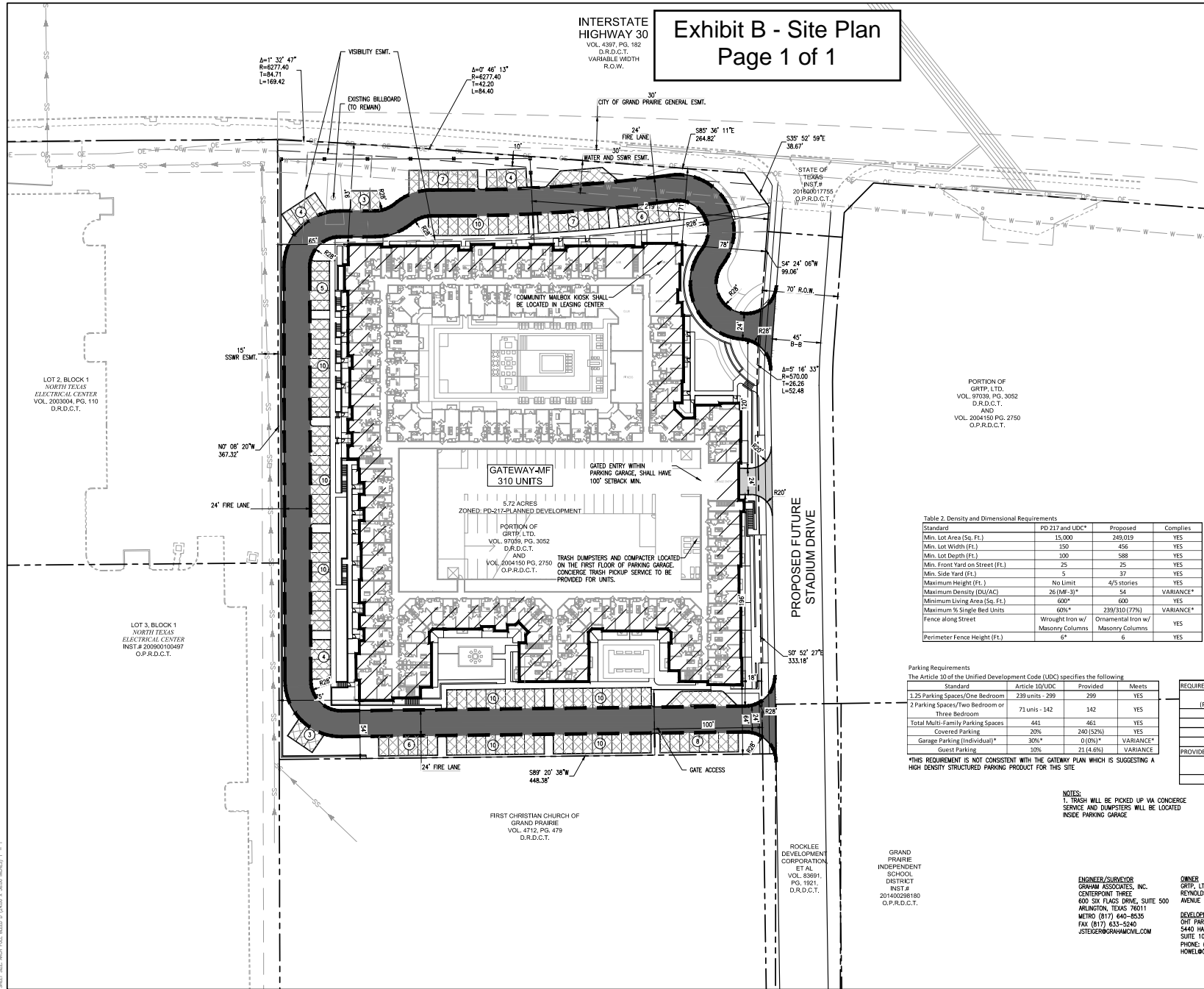
ALTA/NSPS LAND TITLE SURVEY		
5.717 ACRES		
MICHAEL FARRANS SURVEY ABSTRACT NO. 469		
CITY OF GRAND PRAIRIE TARRANT COUNTY, TEXAS		
 Graham Associates Inc. CONSULTING ENGINEERS & PLANNERS 10000 LASS CREEK SUITE 200 DALLAS, TEXAS 75244 PHONE: (214) 343-1000 FAX: (214) 343-1000		
DRAWN BY: GAJ	PROJECT NO. 2830-1008	SHEET
DATE: November 19, 2021	SHEET 1 OF 1	1

Exhibit B - Site Plan Page 1 of 1

INTERSTATE
HIGHWAY 30
VOL. 4397, PG. 182
D.R.D.C.T.
VARIABLE WIDTH
R.O.W.



VICINITY MAP
N.T.S.



- LEGEND:**
- PROPERTY LINE
 - - - EXIST. EASEMENT
 - - - PROP. EASEMENT
 - ⑤ PARKING COUNT
 - ▬ PROPOSED FIRE LANE
8" CONC., 4200 PSI
 - ▬ PROPOSED DRIVE AISLE
6" CONCRETE, 3600 PSI
 - ▨ PARKING AREA
5" CONC., 3600 PSI
 - ▨ PROPOSED SIDEWALK
4" CONC., 3600 PSI
 - ▬ PROPOSED FIRE LANE
(STRIPING ON EXIST. PAVEMENT)

SITE DATA TABLE

AREA OF SUBJECT PROPERTY		5.72 AC.
NUMBER OF LOTS		1
ZONING		PD-217-PLANNED DEVELOPMENT
LOT INFORMATION		
DESCRIPTION	UNITS	PROVIDED
LOT COVERAGE	S.F. 15,000 S.F. MIN	249,019 S.F.
BUILDING HEIGHT	REQUIREMENT	4-5 STORIES
LOT WIDTH	FT. 150 FT. MIN.	456 FT.
LOT DEPTH	FT. 100 FT. MIN.	588 FT.
BUILDING SETBACKS	FRONT: 25 FT. MIN.	25 FT.
	SIDE 5 FT. MIN.	5 FT.
	REAR 25 FT. MIN.	25 FT.

Table 2. Density and Dimensional Requirements

Standard	PD-217 and UDC*	Proposed	Complies
Min. Lot Area (Sq. Ft.)	15,000	249,019	YES
Min. Lot Width (Ft.)	150	456	YES
Min. Lot Depth (Ft.)	100	588	YES
Min. Front Yard on Street (Ft.)	25	25	YES
Min. Side Yard (Ft.)	5	37	YES
Maximum Height (Ft.)	No Limit	4/5 stories	YES
Maximum Density (DU/AC)	26 (MF-3)*	54	VARIANCE*
Minimum Living Area (Sq. Ft.)	600*	600	YES
Maximum % Single Bed Units	60%*	239/310 (77%)	VARIANCE*
Fence along Street	Wrought Iron w/ Masonry Columns	Ornamental Iron w/ Masonry Columns	YES
Perimeter Fence Height (Ft.)	6'	6'	YES

Parking Requirements

The Article 30 of the Unified Development Code (UDC) specifies the following

Standard	Article 30 UDC	Provided	Meets
1.25 Parking Spaces/One Bedroom	239 units = 299	299	YES
2 Parking Spaces/Two Bedroom or Three Bedroom	71 units = 142	142	YES
Total Multi-Family Parking Spaces	441	441	YES
Covered Parking	20%	340 (52%)	YES
Garage Parking (Individual)*	30%*	0 (0%)*	VARIANCE*
Guest Parking	10%	21 (4.6%)*	VARIANCE*

*THIS REQUIREMENT IS NOT CONSISTENT WITH THE GATEWAY PLAN WHICH IS SUGGESTING A HIGH DENSITY STRUCTURED PARKING PRODUCT FOR THIS SITE.

PARKING SUMMARY

REQUIRED PARKING	MINIMUM REQUIREMENT	PARKING PROVIDED
PROPOSED USE		
1 BEDROOM	1 1/4 PER 1 BR	299
2 BEDROOM*	2 PER EACH UNIT 2 OF MORE BR	142
	TOTAL REQUIRED	441
PROVIDED PARKING		
	STANDARD SURFACE SPACES	137
	GARAGE PARKING SPACES	324
	TOTAL PROVIDED PARKING	461

NOTES:
1. TRASH WILL BE PICKED UP VIA CONCERGE SERVICE AND DUMPSTERS WILL BE LOCATED INSIDE PARKING GARAGE.



**SITE PLAN
GATEWAY-MF
CITY OF GRAND PRAIRIE, TEXAS**

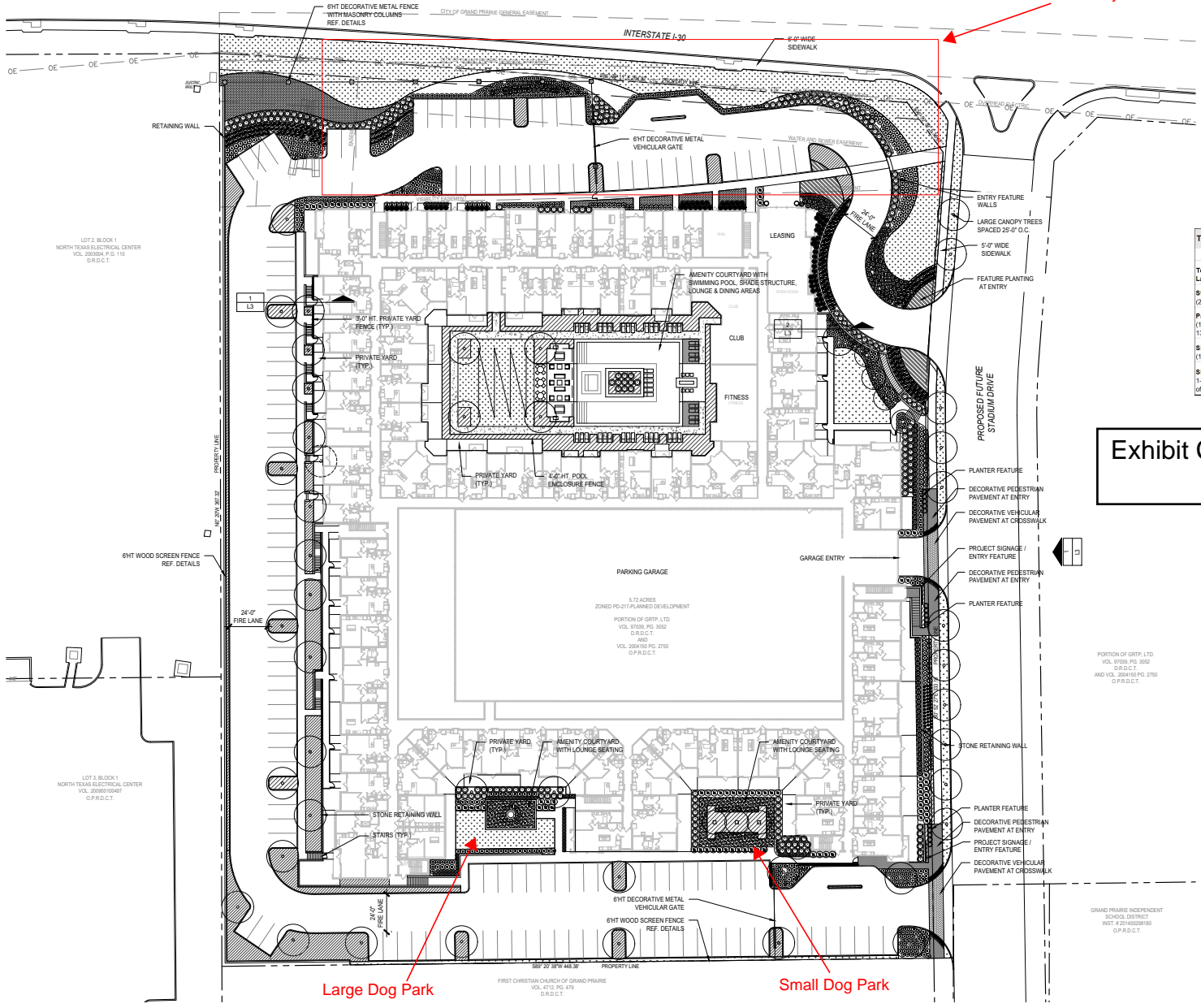
February 2, 2022
PREPARED BY

Graham Associates,
CONSULTING ENGINEERS & ARCHITECTS
10010 FRENCH CREEK DRIVE, SUITE 100
ARLINGTON, TEXAS 76010-3071
PHONE: (817) 461-1111 FAX: (817) 461-1112

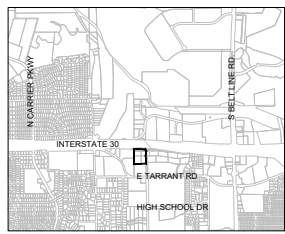
166

PLOTTED BY: ANNE DELGADO
 FILE NAME: C:\PROJECTS\GATEWAY-MF\DRAWINGS\GATEWAY-MF_SITELANDSCAPE.dwg
 PLOT DATE: 2022-02-02 10:00:00 AM
 PLOT SCALE: 1"=40'

Drawing name: O:\64\p\6431085 - Grand Prairie Gateway - Trust A101_Zoning\04_CAD\02_Sheet\07_Zoning\12065 - L_Zoning_DWG.dwg L2 Jan 21, 2022, 5:10pm by: mshelton



Visibility Easement



VICINITY MAP

Table 4. Landscape & Screening Requirements

Standard	Required	Provided	Meets
Total Site: 249,018 SF Landscape Area 20%	49,804 SF	58,743 SF	Yes
Street Trees (25'-50' spacing)	11	11	Yes
Parking Lot Trees (100' Spacing) 137 open spaces	7	24	Yes
Site Trees (Total) (1 tree/500 SF)	100	43	No
Shrubs 1-3 gal. per 50 SF of Required Landscape Area	997	1,220	Yes

Exhibit C - Landscape Plan
Page 1 of 1



OWNER
Cohen Hughes
5440 Harvest Hill Rd
Suite 101
Dallas, TX 75230

ARCHITECT
Architecture Demarest
2300 Valdes Street
Studio B
Dallas, TX 75207

CIVIL
Cushman Associates, Inc.
600 Six Flags Drive
Suite 500
Arlington, TX 76011

GRAND PRAIRIE GATEWAY
GRAND PRAIRIE, TEXAS

Rev.	Date:	Description:

Project Number: 21055
Date: JANUARY 21, 2022
Issue: ZONING

Sheet Title:
LANDSCAPE PLAN

Number:
167
L2

1 LANDSCAPE PLAN



SUP-21-12-0024





Item 28.

ARCHITECTURE DEMAREST

2320 Valinda Street,
Dallas, TX 75207
Tel: 214.748.6555
www.architecture-demarest.com
Copyright Reserved

Revisions

Grand Prairie Gateway
ODEN HUGHES
GRAND PRAIRIE, TEXAS

PROJECT NUMBER: 21/053

Revision

Issued

Author

Drawn By

Permit-Seal

Checker

Reviewed By

PRELIMINARY
NOT FOR CONSTRUCTION
Not for permits, pricing or other
official purposes.
This document has not been completed
or checked and is for general
information or comment only.

Title

Scale

Drawing No.

Revision

As indicated

Current Issue - [YYYY.MM.DD]

TDLR: ?

Supp-21-12-0024

Exterior Elevations

Page 3 of 4

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"

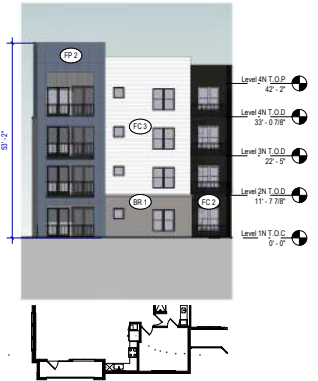
Scale 1/8" = 1'-0"

Scale 1/8" = 1'-0"



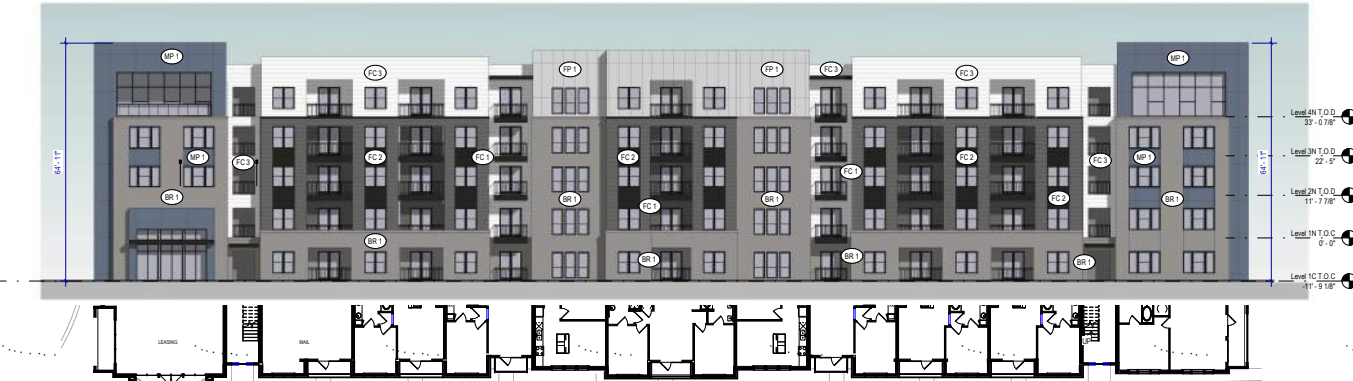
3 EXTERIOR ELEVATION - EAST ELEVATION

Scale: 1/8" = 1'-0"



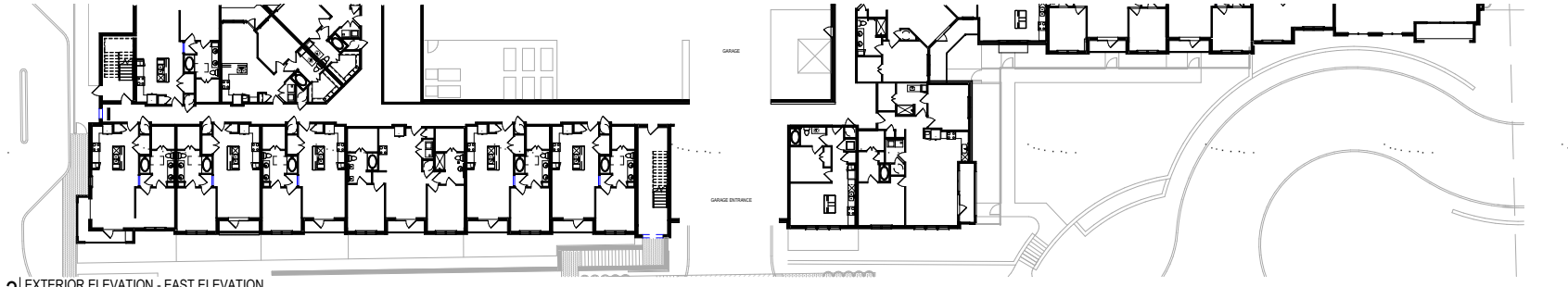
2 EXTERIOR ELEVATION - NORTH ELEVATION A

Scale: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - NORTH ELEVATION B

Scale: 1/8" = 1'-0"



ELEVATION LEGEND	
	BRICK
	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING 1
	FIBER CEMENT LAP SIDING 2
	FIBER CEMENT LAP SIDING 3
	METAL PANEL

MATERIAL PERCENTAGE	
NORTH ELEVATION	EAST ELEVATION
NEUTRAL MATERIALS	
BRICK (BR 1)	31%
FIBER CEMENT LAP SIDING (FC 1)	16%
FIBER CEMENT LAP SIDING (FC 2)	5%
FIBER CEMENT LAP SIDING (FC 3)	23%
FIBER CEMENT PANEL (FP 1)	10%
NON-NEUTRAL MATERIALS	
FIBER CEMENT PANEL (FP 1)	2%
METAL PANEL (MP 1)	11%
TOTAL	100%

MATERIAL PERCENTAGE	
NORTH ELEVATION	EAST ELEVATION
NEUTRAL MATERIALS	
BRICK (BR 1)	34%
FIBER CEMENT LAP SIDING (FC 1)	6%
FIBER CEMENT LAP SIDING (FC 2)	16%
FIBER CEMENT LAP SIDING (FC 3)	19%
FIBER CEMENT PANEL (FP 1)	12%
NON-NEUTRAL MATERIALS	
FIBER CEMENT PANEL (FP 1)	9%
METAL PANEL (MP 1)	14%
TOTAL	100%

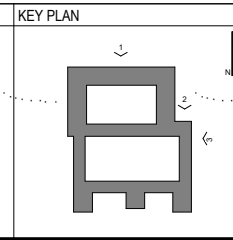
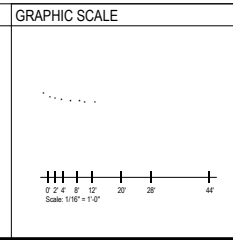


Exhibit D - Building Elevations
Page 3 of 4

A-10

Item 28.

ARCHITECTURE DEMAREST
2320 Valinda Street,
Dallas, TX 75207
Tel: 214.748.6655
www.architecture-demarest.com

Contract
Scale
Date

GRAND PRAIRIE GATEWAY
ODEN HUGHES
GRAND PRAIRIE, TEXAS

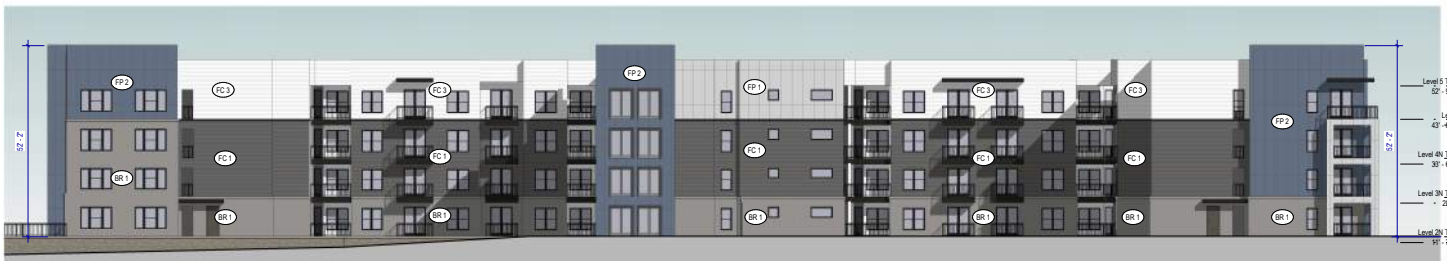
PROJECT NUMBER: 21063

CURRENT ISSUE: [YYYY.MM.DD]
TDLR: ?

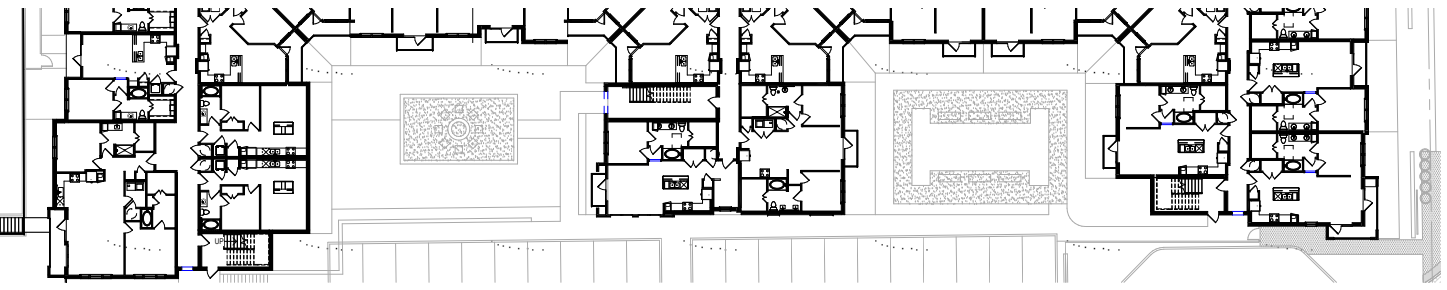
Revision table with columns for Revision, Issued, Author, Drawn By, and Permitt-Stamp.



1 EXTERIOR ELEVATION - WEST ELEVATION
Scale: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



SUP-21-12-0024

ELEVATION LEGEND table listing material symbols and their corresponding descriptions: BRICK, FIBER CEMENT PANEL, FIBER CEMENT LAP SIDING 1, 2, 3, and METAL PANEL.

MATERIAL PERCENTAGE table with columns for SOUTH ELEVATION and WEST ELEVATION, listing percentages for NEUTRAL MATERIALS and NON-NEUTRAL MATERIALS.

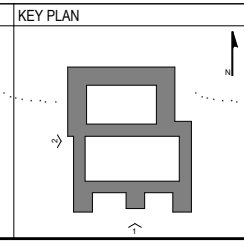
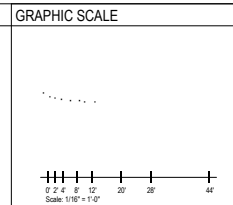


Exhibit D - Building Elevations
Page 4 of 4

PRELIMINARY
NOT FOR CONSTRUCTION
Not for permits, pricing or other
official purposes.
This document has not been checked
or checked and is for general
information or comment only.
Title
EXTERIOR ELEVATIONS
Scale As indicated
Revision
Drawing No.
A-11

Category 1: Environmentally-friendly building materials, construction techniques, or other features

Tier I (Pick Three)

- i. "Smart" technology which automatically controls functions such as lights and thermostat to reduce energy loads during the day or at times of peak energy usage.
- ii. Use of solar or other form of alternative energy to satisfy approximately 25% or more of on-site energy demand.
- iii. Landscaping plan that makes use of native, drought resistant plantings not requiring the use of irrigation. In lieu of sod or turf, drought resistant plantings may be combined with coordinated hardscapes of high design quality and appearance for the purposes of meeting Tier I requirements.
- iv. Reservation of existing natural areas comprising 5% or more of the overall project size, with such areas incorporating quality non-invasive tree stands, habitat or riparian areas, and not including existing floodplain or other areas already protected or inherently unsuitable for development.
- v. Permeable pavement for 10% or more of total paving.
- vi. Electric car charging station (minimum 2).
- vii. High efficiency windows on residential and common buildings.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 100% of irrigation in accordance with section 8.4.1.11.

Tier II (Pick Four)

- i. Integration of commercial/retail/office space or live-work units.
- ii. Permeable pavement for 5% or more of total paving.
- iii. Roofing material with a minimum total solar reflectance of 0.70 and a minimum thermal emittance of 0.75 when measured using ASTM testing methods endorsed by the North Central Texas Council of Governments.
- iv. Significant use of recycled or locally-sourced materials. Locally-sourced is defined as a material having its origin within 50 miles of the project.
- v. Preservation of existing non-invasive trees with a combined canopy square footage area totaling at least 5% of the overall project size (trees can come from any portion of the site other than areas which are already projected or inherently unsuitable for development, such as floodplain).
- vi. Qualified recycling program available to every resident.
- vii. Walking/jogging trails within the development. Where possible, trails should utilize existing natural areas and provide linkages to existing or future area trail networks.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 50% of irrigation in accordance with section 8.4.1.11.

Tier III (Pick Five)

- i. Additional insulation.
- ii. LED or low-wattage lighting.
- iii. Bicycle parking.
- iv. Use of additional native plantings totaling 10% or more of minimum landscape requirements.
- v. Stormwater or grey water reclamation for on-site reuse in accordance with section 8.4.1.11.
- vi. Solar-ready building design.
- vii. Outdoor recreation spaces with communal features such as furniture, landscaping, gardens, televisions, movie screens, BBQ grills, pergolas, areas for fitness or sports activities, and interactive water features, not including standard unheated swimming pools, which are designed for water conservation or reuse.
- viii. Big and small dog parks.

Category 2: High-quality features or designs

Tier I (Pick Four)

- i. Granite countertops or similar in kitchens and bathrooms.
- ii. Upgraded flooring throughout, consisting of masonry tile, such as porcelain or travertine, wood-look tile, true hardwood, stained concrete, or deep pile carpeting.
- iii. Minimum 10 foot ceilings in living areas, kitchen, dining rooms, hallways, bathrooms and bedrooms.
- iv. Upgraded woodwork throughout each unit, such as crown molding, wainscot, chair rails, window and door moldings.
- v. Upgraded cabinetry.

Tier II (Pick Five)

- i. Arched forms separating rooms and living spaces.
- ii. Upgraded light fixtures including recessed lighting or indirect lighting.
- iii. Walk-in closets.
- iv. Jetted bathtubs.
- v. Upgraded bathroom and kitchen hardware, including faucets and sinks.
- vi. Full-size stainless steel major appliances (oven, range, refrigerator, dishwasher, microwave oven).
- vii. 8 foot doors leading to each room of a unit.

Category 3: Technology (Provide All)

- a. Integrated USB ports within all units.
- b. App-enabled functionality for door locks, lighting, thermostat, appliances, or other electronics.
- c. App-enabled communication between residents and management for the reporting of problems related to mechanical failures, safety concerns, or noise issues.
- d. Wi-fi internet access provided to users of common amenities such as clubhouse, pool, walking trails, and fitness area.



**CITY OF GRAND PRAIRIE
ORDINANCE**

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: SUP-21-12-0023 - Specific Use Permit/Site Plan - Star Shell Convenience Store w/gas pumps, Restaurant with a Drive-Through and a Carwash. (City Council District 5). Specific Use Permit for a Carwash and a Restaurant with a Drive-Through and a Site Plan Amendment to expand the existing carwash tunnel, construct a 475 sq. ft. addition to the existing Convenience Store/Restaurant building, and add a drive-through lane for the restaurant. Lot 3, Block 1, Lone Star Plaza Addition, City of Grand Prairie, Dallas County, Texas, zoned PD-217 and PD-217A, located within the Belt Line Corridor Overlay District, and addressed as 925 N Belt Line Rd (On February 14, 2022, the Planning and Zoning Commission recommended approval with staff conditions by a vote of 7-0)

APPLICANT: Melinda Nelson & Kofi Addo, Victron Energy, Inc.

OWNER: Walid Alameddine, Victron Stores, L.P.

RECOMMENDED ACTION: Staff is unable to recommend approval of this request due to concerns about how the proposed restaurant drive-through lane and expanded car wash tunnel impact the internal circulation of the site.

SUMMARY:

Specific Use Permit for a Carwash and a Restaurant with a Drive-Through and a Site Plan Amendment to expand the existing carwash tunnel, construct a 475 sq. ft. addition to the existing Convenience Store/Restaurant building, and add a drive-through lane for the restaurant.

PURPOSE OF REQUEST:

The purpose of this request for a Specific Use Permit is for a Carwash and a Restaurant with a Drive-Through and a Site Plan Amendment to expand the existing carwash tunnel, construct a 475 sq. ft. addition to the existing Convenience Store/Restaurant building, and add a drive-through lane for the restaurant.

The purpose of the Specific Use Permit process is to identify those uses which might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have a potentially negative impact upon surrounding properties; and provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to eliminate such probable negative impacts.

The purpose for the site plan approval is to ensure that the development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

The City Council may, in the interest of the public welfare and to assure compliance with this ordinance, establish conditions of operation, location, arrangement, and construction of any authorized special use. In approving any specific use, the City Council may impose such development standards and safeguards as conditions warrant for the welfare and protection of adjacent properties, and citizenry as a whole as it may be affected by this use.

It shall be unlawful for the owner, manager, or any person in charge of a business or other establishment to violate the conditions imposed by the City Council when a Specific Use Permit is granted.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	PD-217	IH-30/Car Dealership
South	PD-217A	Restaurant
West	PD-217	Undeveloped
East	PD-217	Restaurant/Commercial

HISTORY:

- September 17, 1996: City Council approved PD-217 creating a planned development district for Mixed-Use including Entertainment, Retail Office Uses and a SUP for Car Dealership on a 1,700 acre-tract along the I-30/Belt Line Road Corridor that included the referenced property (Case Number CPA960901/Z960901).
- April 20, 2004: The City Council approved PD-217A amending a planning development district for the property at 925 N. Belt Line Road (Lot 1, Block 2, Lone Star Plaza Addition) to allow for State Vehicle Inspection Station Use (Case Number Z040401).
- April 26, 2012: The City’s Planning Department administratively approved the site plan for the development and operation of a Convenience Store with Gas Sales, and a restaurant within PD-217A for GR Uses on the property consisting of 1.137 acres, Lot 1, Block 2, Lone Star Plaza Addition (Case Number S120501).

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The 1.38-acre commercial center consists of:

- 3,963 sq. ft. convenience store with 12 gas pumps and a drive-through restaurant.
- 1,960 sq. ft. car wash tunnel.

The site is accessible from N. Belt Line Road and mutual access easement on adjacent properties to the south. The applicant intends to operate a full-service car wash use and add a drive-through lane to the quick-serve restaurant. The car wash is located on the southern portion of the property and will replace an existing small self-serve automated wash with a 1,960 sq. ft. tunnel facility. There will be no outdoor detail area with vacuums.

The applicant proposes a 495 sq. ft addition to the convenience store/restaurant. The fuel pump canopy will remain in place. Other improvements include the separate but parallel alignment of the drive-through facilities serving the car wash and the restaurant. Both drive-throughs wrap around the rear (western) portion of the store and are separated by the fire lane and raised curbs to prevent cross entry from one service to the other.

The drive-through lane for the restaurant does not provide any stacking spaces from the point of order for vehicles when the UDC requires a minimum of six. The point of order is located adjacent to the fire lane, which means that a customer's vehicle will block the fire lane while they are placing their order and any queuing of vehicles will take place in the fire lane.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The property is subject to density and dimensional requirements in Article 6 of the Unified Development Code (UDC). The following table summarizes these requirements. The proposal does not meet all the density and dimensional requirements. The proposal exceeds the maximum 25-foot height requirement.

Table 2. Site Data Summary

Standard	Required	Proposed	Meets
Min. Lot Area (Sq. Ft.)	5,000	49,592	Yes
Min. Lot Width (Ft.)	50	185	Yes
Min. Lot Depth (Ft.)	100	270	Yes
Front Setback (Ft.)	25	35	Yes
Rear Setback (Ft.)	0	10	Yes
Max. Height (Ft.)	25	32	No
Max. Floor Area Ratio (FAR)	0.35:1	0.11:1	Yes

Parking Requirements

The property is subject to parking requirements in Article 10 of the UDC. The following table summarizes these requirements. The proposal meets the parking requirements.

Table 3. Parking Summary

Standard	Maximum Allowed	Provided	Compliance
Retail	9	9	Yes
Restaurant	6	6	Yes

Car Wash	4	3	Yes
Total	19	18	Yes
HC Spaces	2	2	Yes

Landscaping and Screening Requirements

The site is subject to Landscaping requirements of UDC, Article 8, the site meets the minimum landscape requirement. Table 4 summarizes the landscaping requirement.

Table 4. Landscape & Screening Requirements

Standard	Required	Provided	Meets
Landscape Area 10% (Sq. Ft.)	4,959	8,776	Yes
Trees (1/500 SF. of required landscape)	10	13	Yes
Street Trees (I-30)	6	6	Yes
Street Trees (Belt Line)	4	4	Yes
Parking Lot Trees	1	3	Yes
Shrubs (1 5-gallon shrub per 50 Sq. Ft. of required landscape area)	100	120	Yes

ANALYSIS:

The building's new exterior elevations and design elements provide desired improvement along a primary gateway into Grand Prairie. However, the lack of vehicle stacking spaces for the restaurant drive-through may create traffic/circulation issues on the site. Since the Planning and Zoning Commission meeting, the applicant has revised the car wash's roof sign to comply with UDC's maximum height requirement for roof signs. A trash receptacle accessible from the drive-through lane is provided.

VARIANCES:

The applicant is requesting the following variances:

1. Vehicle Stacking Spaces – the UDC requires six stacking spaces for restaurant drive-throughs. The proposal does not include any.
2. Maximum Allowable Height – the maximum allowable height for this location is 25 ft. The proposed carwash tunnel has a height of 32 ft.
3. ~~Height of Roof Sign – the UDC states that roof signs shall not exceed 15 ft. in height or 25% of the building height, whichever is less. The proposed car wash tunnel includes a roof sign that extends 18 ft. above the height of the building, which is more than 25% of the building height.~~ The revised building elevations do not require this variance.

RECOMMENDATION:

- On February 14, 2002, the Planning and Zoning Commission recommended approval by a vote of 7-0 with staff conditions.
- Staff has concerns about how the proposed restaurant drive-through lane and expanded car wash tunnel impact the internal circulation of the site. Notably, the drive-through lane requires the fire

lane for ordering and stacking spaces. The car wash tunnel configuration creates potential conflicts between cars exiting the tunnel and other vehicles on site.

However, should the Planning and Zoning Commission recommend approval of this request, staff recommends the following conditions:

1. ~~The applicant shall revise the roof sign to meet UDC requirements.~~
2. The applicant shall provide a trash receptacle accessible from the drive-through lane.
3. Businesses shall obtain the appropriate Certificate of Occupancies for all uses and register with the City's Auto-Related Business (ARB) program.
4. Development and operations shall comply with the site plan.

BODY:

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS AMENDING THE ZONING ORDINANCE AND MAP BY SHOWING THE LOCATION, BOUNDARY, AND USE OF CERTAIN PROPERTY FOR A SPECIFIC USE PERMIT FOR A RESTAURANT WITH DRIVE-THROUGH AND A CAR WASH BEING LOT 3, BLOCK 1, LONE STAR PLAZA ADDITION, CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS; SAID ZONING MAP AND ORDINANCE BEING NUMBERED ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; PROVIDING A PENALTY; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE AFTER PUBLICATION

WHEREAS, the owners of the property described herein below filed application with the City of Grand Prairie, Texas, petitioning an amendment of the Zoning Ordinance and Map of said city so as to amend the zoning designation of said site to include a Specific Use Permit for a Restaurant with Drive-Through and a Car Wash;

WHEREAS, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on February 14, 2022, after written notice of such public hearing before the Planning and Zoning Commission on the proposed Specific Use Permit had been sent to owners of real property lying within 300 feet of the property on which the creation of a Specific Use Permit for a Restaurant with Drive-Through and a Car Wash use is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

WHEREAS, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 7 to 0 to recommend to the City Council of Grand Prairie, Texas, that said Zoning Ordinance and Map be amended to allow a Specific Use Permit for a Restaurant with Drive-Through and a Car Wash; and

WHEREAS, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 o'clock P.M. on March 1, 2022, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to

such hearing by publication in the, Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the Specific Use Permit and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the specific use proposed on said property, as well as the nature and usability of surrounding property, have found and determined that the property in question, as well as other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance to the extent that a specific use may be made of said property as herein provided and by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:

SECTION 1. Ordinance Number 4779, being the Unified Development Code of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

"THE UNIFIED DEVELOPMENT CODE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20TH DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN..."

passed and approved November 20, 1990, as amended, is hereby further amended so as to establish a Specific Use Permit for a Restaurant with Drive-Through and a Car Wash use on 1.138 acres on Lot 3, Block 1, Lone Star Plaza Addition, addressed as 925 N. Belt Line Road, City of Grand Prairie, Dallas County, Texas, as depicted in Exhibit A - Location Map, attached hereto.

SECTION 2. The purpose of this Ordinance is to provide the appropriate restrictions and development controls that ensure this Specific Use Permit is compatible with the surrounding development and zoning and to also ensure that the development complies with the City's Comprehensive Plan and Unified Development Code.

SECTION 3. For development and operations of a Restaurant with Drive-Through and a Car Wash use with the following standards and conditions hereby established as part of this ordinance:

1. The applicant shall provide a trash receptacle accessible from the drive-through lane.
2. Businesses shall obtain the appropriate Certificate of Occupancies for all uses and register with the City's Auto-Related Business (ARB) program.
3. Development and operations shall comply with the approved Exhibit B – Site Plan, Exhibit C – Landscape Plan, and Exhibit D – Building Elevations which are attached hereto and incorporated by reference.

SECTION 4. That the operations of a Restaurant with Drive-Through and Car Wash use shall comply with the following:

1. By this Ordinance, this Specific Use Permit shall automatically terminate in accordance with Section 5.4.1 of the Unified Development Code if a Certificate of Occupancy is not issued for said use within one (1) year after City Council adoption of this Ordinance, or upon cessation of said use for a period of six (6) months or more.
2. It shall be unlawful for the owner, manager, or any person in charge of a business or other establishment to violate the conditions imposed by the City Council when a Specific Use Permit is granted, and the violation of those conditions could result in a citation being issued by the appropriate enforcement officers of the City of Grand Prairie. Violation of this provision may be punishable in accordance with Section 1-8 of the Code of Ordinances of the City.
3. This Specific Use Permit shall run with the land and therefore may be transferred from owner to owner; however, each new owner shall obtain a new Certificate of Occupancy.
4. The Certificate of Occupancy shall note the existence of this Specific Use Permit by its number and title.
5. The operation of the facility shall be in strict compliance with all requirements of the Environmental Services Department, Building Inspections, Police Department and Fire Administration.
6. Any unsafe or unauthorized operations or activities may be determined as grounds for revocation of the Specific Use Permit by the City Council.

SECTION 5. It is further provided that in the case a section, clause, sentence, or part of this Ordinance shall be deemed or adjudicated by a court of competent jurisdiction to be invalid, then such invalidity shall not affect, impair, or invalidate the remainder of this Ordinance.

SECTION 6. A violation of this Ordinance is a misdemeanor punishable in accordance with Section 1-8 of the Code of Ordinances of the City of Grand Prairie, Texas. The penalty provided herein shall be cumulative of other remedies provided by State law, and the power of injunction as provided in Texas Local Government Code Section 54.016, as amended, may be exercised in enforcing this ordinance whether or not there has been a complaint filed.

SECTION 7. The Unified Development Code of the City of Grand Prairie, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

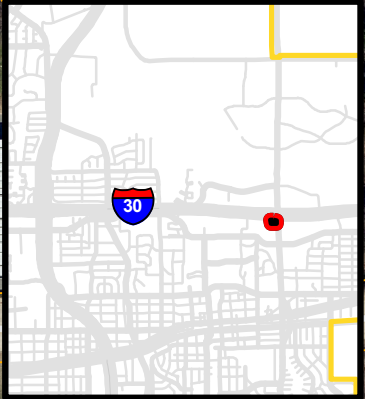
SECTION 8. The terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

SECTION 9. All ordinances or parts of ordinances in conflict herewith are specifically repealed.

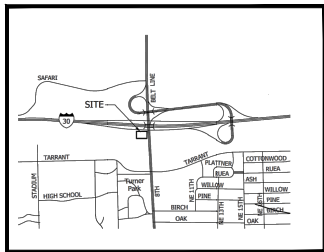
SECTION 10. This Ordinance shall be in full force and effect from and after its passage, approval, and publication.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 1ST DAY OF MARCH 2022.

ORDINANCE NO. #-2022
SPECIFIC USE PERMIT NO. #
CASE NO. SUP-21-11-0023

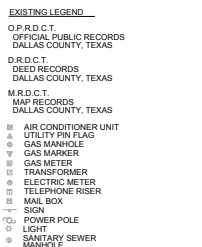
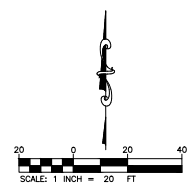
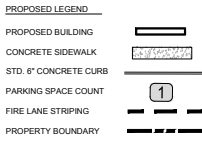
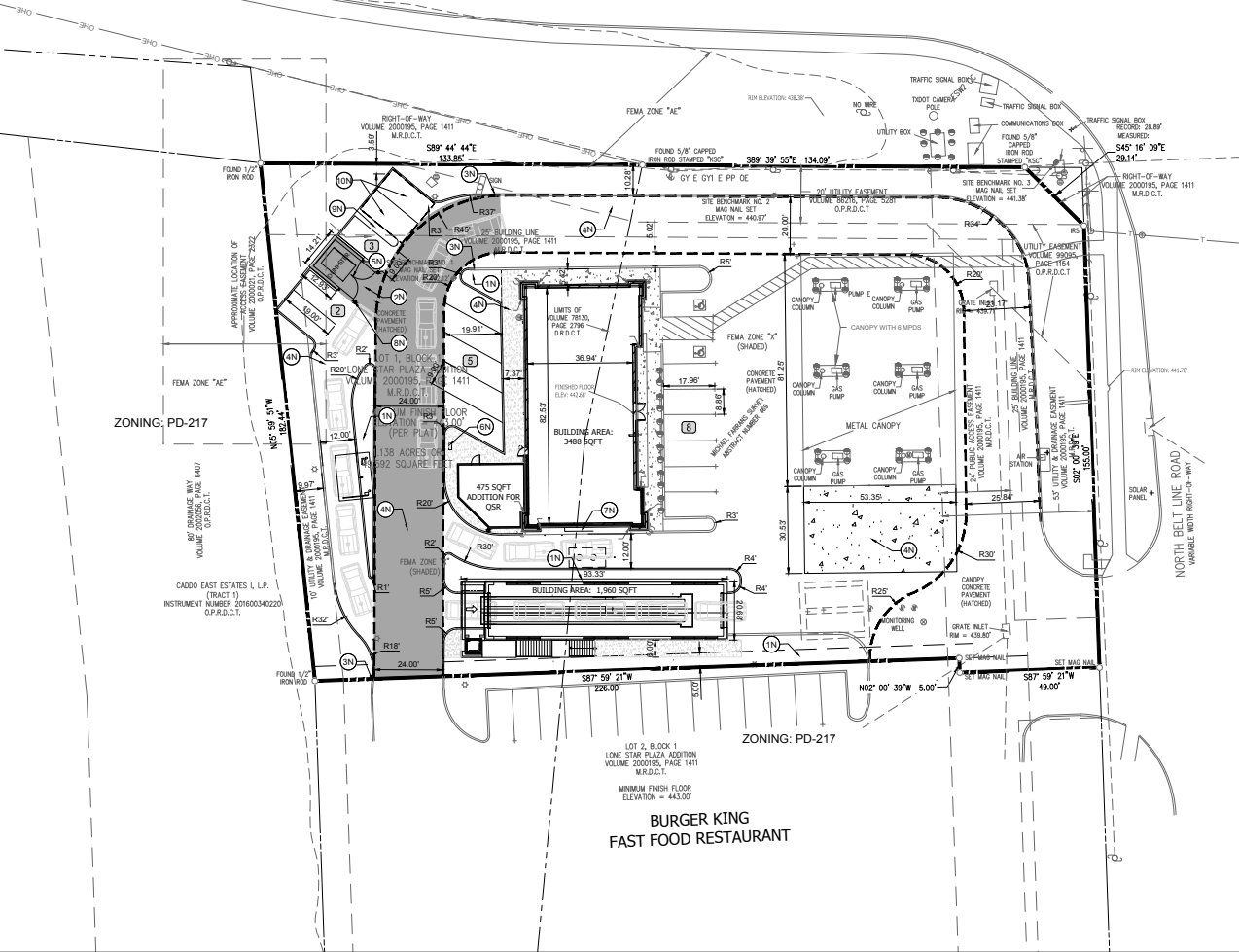


**Exhibit B - Site Plan
Page 1 of 1**



VICINITY MAP
NOT TO SCALE

INTERSTATE HIGHWAY 30
ALSO KNOWN AS DALLAS - FORT WORTH TURNPIKE
VARIABLE WIDTH RIGHT-OF-WAY
VOLUME 4654, PAGE 208 D.R.D.C.T.



SITE DATA TABLE	
SITE LOCATION	925 N Belt Line Rd
ZONING	PD-217A
OFFICIAL PUBLIC RECORDS	DALLAS COUNTY, TEXAS
LOT AREA	49,592 (1,138 AC)
BUILDING AREA	
CONVENIENCE STORE WITH GASPUMPS	2,474 SF
RESTAURANT	1,040 SF
CAR WASH	1,960 SF
LANDSCAPE AREA	9,588 SF (19.33%)
IMPERVIOUS AREA	40,004 SF
LOT COVERAGE (FLOOR AREA RATIO)	10.92%
FLOOD ZONE CLASSIFICATION	ZONE 'X'
FLOOD ZONE MAP NO.	48113C031SL
EXISTING LAND USE	RESTAURANT WITH DRIVE-THROUGH/CAR WASH
PROPOSED LAND USE	RESTAURANT/CAR WASH
ADJACENT ZONING (N.E.S.W)	PD-217, PD-217, PD-217, PD-217

PARKING DATA

RESTAURANT (DINING & WAITING AREA OF 598 SF)	= 1 PER 100 SF
REQUIRED SPACES:	= 6
SPACES PROVIDED:	= 6
RETAIL AREA (2474 SF) (CONVENIENCE STORE WITH GASPUMPS)	= 1 PER 275 SF
REQUIRED SPACES:	= 9
SPACES PROVIDED:	= 9
CAR WASH = 1 PER 150 SF = 14	
(2/3 OF MINIMUM FOR AWAITING CAR WASH) = 10	
CAR WASH PARKING	= 4
REQUIRED SPACES:	= 3
SPACES PROVIDED:	= 3

TYPICAL DIMENSIONS:

SYMBOL	WIDTH	DEPTH
○	5'	20'

NOTES

- 1N LANDSCAPE AREA
- 2N HEAVY DUTY CONCRETE
- 3N END CURB
- 4N STANDARD CONCRETE PAVING
- 5N DUMPSTER ENCLOSURE
- 6N MENU ORDER BOARD AND SPEAKER
- 7N ORDER PICKUP WINDOW
- 8N BOLLARD
- 9N ELECTRIC CHARGING STATION
- 10N ELECTRIC VEHICLE CHARGING SPACE

ENGINEER	DEVELOPER	OWNER
BOWMAN CONSULTING GROUP, LTD 5601 Democracy Drive, Suite 205 Dallas, Texas 75225 [Phone] 972.497.2990 Contact: Kofi Addo, P.E.	VICTRON ENERGY, INC. 105 YMCA Drive Waxahachie, TX 75165 [Phone] 469.517.2051 Contact: Melinda Nelson	EBLA INVESTMENT, L.P. P.O. BOX 2599 Waxahachie, TX 75168 [Phone] 469.517.2000 Contact: Walid Alameddine

NOTE:
SITE SHALL COMPLY WITH AND/OR EXCEED UDC's APPENDIX F.

182

CHD
KAN
-001

SITE PLAN

WASH MASTERS CAR WASH & TACO CASA RESTAURANT
925 N BELT LINE RD
GRAND PRAIRIE, TX 75050

REVISIONS

DATE	DESCRIPTION

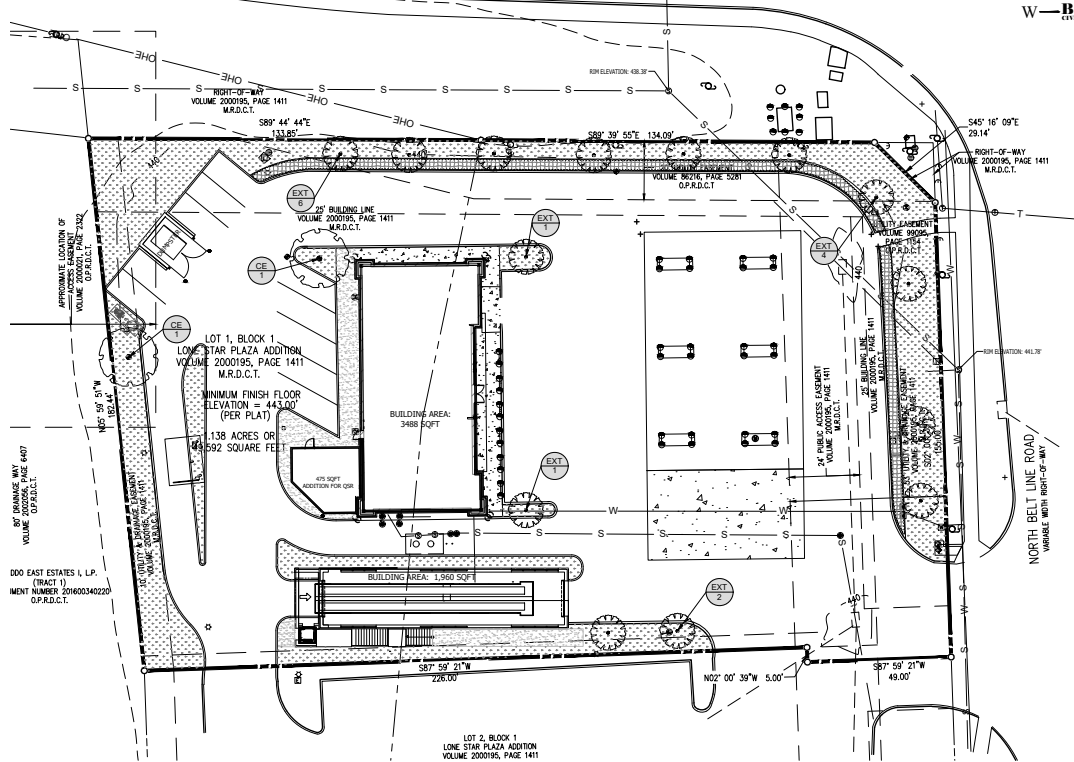
SCALE: 1 INCH = 20 FT

CHD NUMBER: STP-21-12-0023

Exhibit C - Landscape Plan Page 1 of 1

INTERSTATE HIGHWAY 30
ALSO KNOWN AS DALLAS - FORT WORTH TURNPIKE
VARIABLE WIDTH RIGHT-OF-WAY
VOLUME 4615, PAGE 208 D.R.D.C.T.

W — BEACON — E
CIVIL ENGINEERING



PLANT SCHEDULE

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	EXT	Existing Tree to be retained protect as necessary	exist.	exist.	14
	CE	Cedar Elm / Ulmus crassifolia parking lot tree	CONT.	3' Cal	2
SHRUB AREAS	CODE	COMMON / BOTANICAL NAME	SIZE	SPACING	QTY
	EXG	Existing Shrubs to remain protect as necessary	exist.	exist.	120+
		Missing shrubs will be replaced			
GROUND COVERS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	CD	Bermuda Grass / Cynodon dactylon '18 419' or match existing turf	sod	8,056 sf or as req'd to provide full coverage as shown	

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE EVENT OF THESE PLANS, NOTES AND SPECIFICATIONS "FINISH GRADE" REFERS TO THE FINISH ELEVATION OF THE SOIL SURFACE (NOT TOP OF BALCONY AS INDICATED ON THE GRADING PLANS).
 - BEFORE STARTING PLANTING, THE CONTRACTOR SHALL VERIFY THAT THE FINISH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURT AREA AND FINISH GRADE.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONTRACTOR SHALL MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE MOISTURE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED BASED ON ANALYSIS, THE FINISH GRADES, AND THE FINISH GRADES TO BE ESTABLISHED.
 - ON SHRUBS, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER IRRIGATION.
 - ON TREES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 10' AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADES IN TURT AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 10' AWAY FROM THE WALKS.
 - IF ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGNOSTIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL INQUIRE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITIES SHOWN THE PLAN FOR INDIVIDUAL SYMBOLS OR CALLOUT FOR GROUNDCOVER PATTERNS SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING VIA PROFORMA CHANNELS.
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S OWNERS REPRESENTATIVE TO INSPECT AND APPROVE OR REJECT ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE HEALTHY CONDITION FOR PLANTS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR PLANTS AND THE MAINTENANCE PERIOD, AND FOR PLANT ACCEPTANCE AS THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA	49,592 SF
LANDSCAPE AREA REQUIRED	4,968 SF (10% OF SITE AREA)
LANDSCAPE AREA PROVIDED	8,778 SF (17.7%)
TOTAL STREET FRONTAGE	271 LF IH-30
STREET TREES REQUIRED	6 TREES (1 TREE PER 50 LF OF FRONTAGE)
STREET TREES PROVIDED	6 TREES (ALL EXISTING)
TOTAL STREET FRONTAGE	161 LF NORTH BELT LINE RD.
STREET TREES REQUIRED	4 TREES (1 TREE PER 50 LF OF FRONTAGE)
STREET TREES PROVIDED	4 TREES (ALL EXISTING)
SITE TREES PROVIDED	10 TREES (1 TREE PER 500 SF OF REQUIRED LANDSCAPE)
SITE TREES REQUIRED	10 TREES
SITE SHRUBS PROVIDED	100 SHRUBS (1 SHRUB PER 50 SF OF REQUIRED LANDSCAPE AREA)
SITE SHRUBS REQUIRED	120+ SHRUBS (ALL EXISTING)
TOTAL PARKING SPACES	18
PARKING LOT TREES REQUIRED	1 TREES (1 TREE PER 20 SPACES)
PARKING LOT TREES PROVIDED	3 TREES

NOTE: TOTAL REQUIRED PARKING LOT TREES INCLUDED IN SITE TREE TOTALS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "TERRA-ROOT" OF "SEEP PANELS" OR EQUAL. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HORIZONTAL ROOTS. INSTALL FENCES PER MANUFACTURER'S INSTRUCTIONS. UNLESS OTHERWISE SPECIFIED, CIRCUMFANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL, UNWODED, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE TURNING GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

Item 29.

BOWMAN
© 2021 Bowman Construction
TYPE E Firm Registration No. 1000000000000000
5601 Democracy Dr.
P.O. Box 1000000000000000
Philo, Texas 75024
www.bowmanconstruction.com

REVISIONS	DATE	DESCRIPTION

LANDSCAPE PLANTING

WASH MASTER CAR WASH
925 N BELT LINE RD
GRAND PRAIRIE, TX 75050

1-27-22

DESIGN DR DRAWN DR CHD RM

JOB No. 070466-01-001

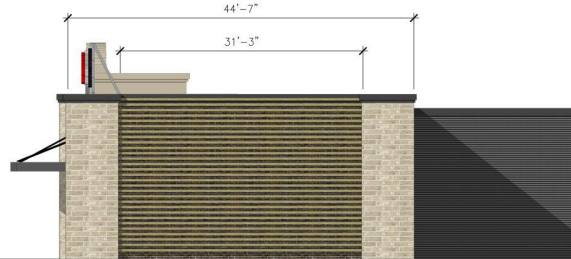
SHEET LP-1

EVERGREEN
DESIGN GROUP

(972) 480-6630
1545 Dallas Freeway, Ste 400
Addicks, TX 75001
www.EvergreenDesignGroup.com



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

WEST ELEVATION - 1,779 SF TOTAL

STONE-	469 SF	26%
DARK BRICK-	593 SF	33%
NICHIHA PANEL-	0 SF	0%
METAL PANEL-	207 SF	12%
EIFS-	510 SF	29%

GLAZING- 467 SF | 28% of TOTAL

SOUTH ELEVATION - 1,518 SF TOTAL

STONE-	331 SF	22%
DARK BRICK-	642 SF	42%
NICHIHA PANEL-	510 SF	33%
METAL PANEL-	35 SF	3%
EIFS-	0 SF	0%

GLAZING- 0 SF | 0% of TOTAL

NORTH ELEVATION - 1,455 SF TOTAL

STONE-	600 SF	41%
DARK BRICK-	0 SF	0%
NICHIHA PANEL(2 COLORS)	810 SF	55%
METAL PANEL-	45 SF	4%
EIFS-	0 SF	0%

GLAZING- 41 SF | 3% of TOTAL

EAST ELEVATION - 1,937 SF TOTAL

STONE-	479 SF	25%
DARK BRICK-	861 SF	44%
NICHIHA PANEL-	528 SF	28%
METAL PANEL-	69 SF	3%
EIFS-	0 SF	0%

GLAZING- 0 SF | 0% of TOTAL

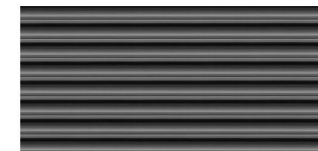


Item 29.

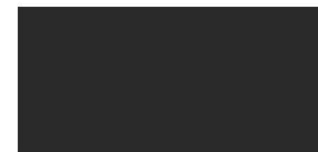
STONE



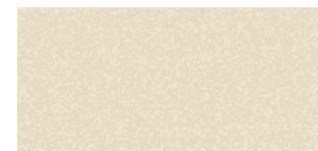
DARK BRICK



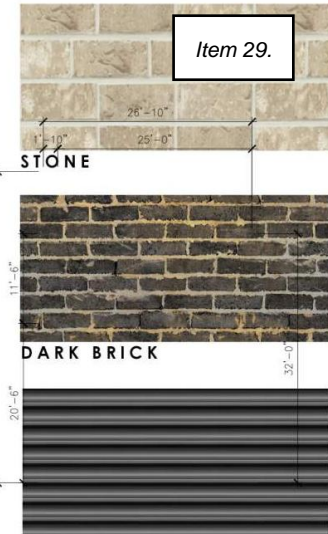
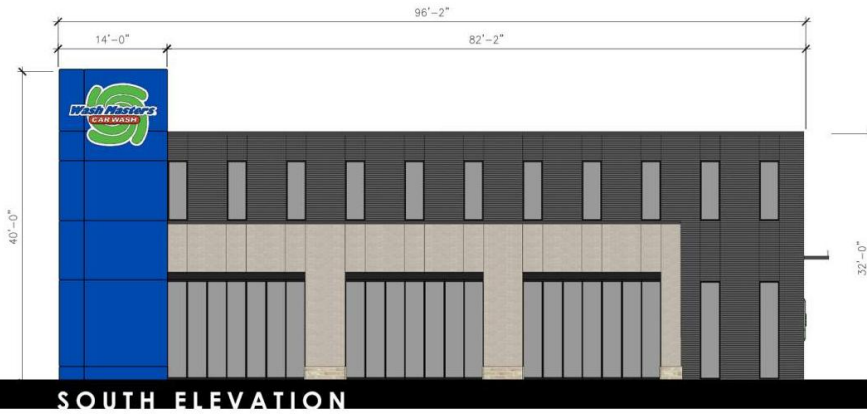
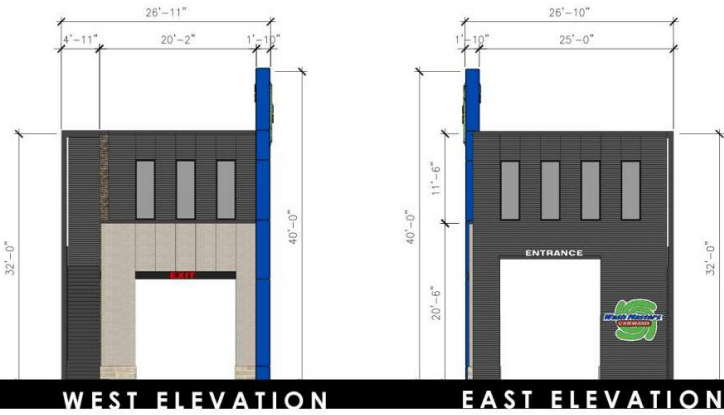
NICHIHA PANEL
RIBBED, INDIGO



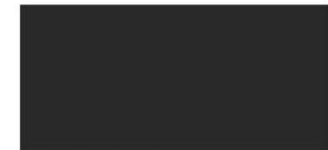
METAL PANEL



EIFS



STONE



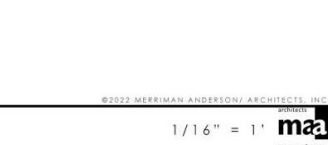
DARK BRICK



**NICHIHA PANEL
RIBBED, INDIGO**



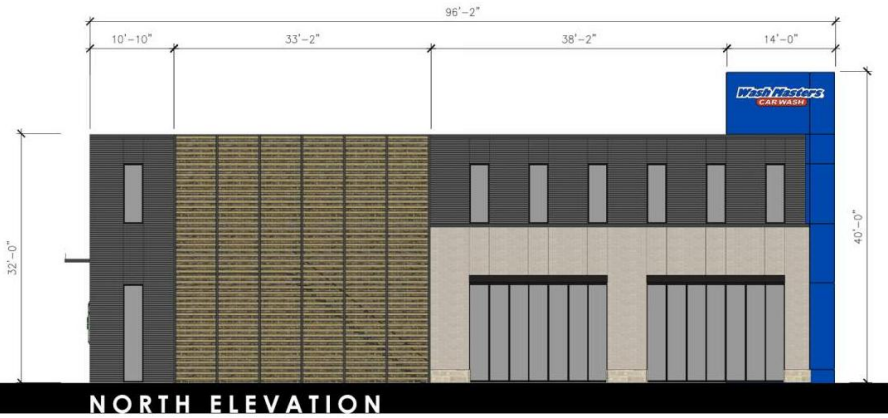
METAL PANEL



LIGHT BRICK

BLUE METAL PANEL

WEST ELEVATION - 750 SF TOTAL		
STONE-	16 SF	2%
DARK BRICK-	15 SF	2%
NICHIHA PANEL-	285 SF	38%
METAL PANEL-	135 SF	18%
LIGHT BRICK-	233 SF	31%
BLUE METAL PANEL-	66 SF	9%
GLAZING-	50 SF	6.5% of TOTAL
EAST ELEVATION - 604 SF TOTAL		
STONE-	2 SF	.5%
DARK BRICK-	0 SF	0%
NICHIHA PANEL-	504 SF	83%
METAL PANEL-	23 SF	4%
LIGHT BRICK-	9 SF	1.5%
BLUE METAL PANEL-	66 SF	11%
GLAZING-	65 SF	10.5% of TOTAL
SOUTH ELEVATION - 2,668 SF TOTAL		
STONE-	31 SF	2%
DARK BRICK-	0 SF	0%
NICHIHA PANEL-	1,037 SF	39%
METAL PANEL-	118 SF	4%
LIGHT BRICK-	887 SF	33%
BLUE METAL PANEL-	575 SF	22%
GLAZING-	782 SF	32% of TOTAL
NORTH ELEVATION - 2,277 SF TOTAL		
STONE-	22 SF	.9%
DARK BRICK-	1,042 SF	46%
NICHIHA PANEL-	434 SF	19%
METAL PANEL-	73 SF	3%
LIGHT BRICK-	498 SF	22%
BLUE METAL PANEL-	208 SF	9.1%
GLAZING-	510 SF	18.5% of TOTAL



NORTH ELEVATION





**CITY OF GRAND PRAIRIE
ORDINANCE**

MEETING DATE: 03/01/2022

REQUESTER: Monica Espinoza, Executive Assistant

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: TAM-22-01-0001 - Text Amendment - Article 8: Landscape and Screening Standards. An Ordinance of the City of Grand Prairie, Texas, amending Article 8: Landscape and Screening Standards of the Unified Development Code to create an administrative exception process for alternative fence materials in residential zoning districts; Repealing all Ordinances or parts of Ordinances in conflict herewith; Containing a savings clause and a severability clause; and to become effective upon its passage and approval (On February 14, 2022, the Planning and Zoning Commission recommended approval by a vote of 7-0)

APPLICANT: City of Grand Prairie

RECOMMENDED ACTION: Approve

SUMMARY:

An Ordinance of the City of Grand Prairie, Texas, amending Article 8: Landscape and Screening Standards of the Unified Development Code to create an administrative exception process for alternative fence materials in residential zoning districts; Repealing all Ordinances or parts of Ordinances in conflict herewith; Containing a savings clause and a severability clause; and to become effective upon its passage and approval.

PURPOSE OF REQUEST:

The purpose of the request is to amend Article 8: Landscaping and Screening Standards of the Unified Development Code to create an administrative exception process for alternative fence materials in residential zoning districts. Staff has gradually seen an uptick in alternative fence material requests in residential zoning districts. For example, in July 2021, staff received a request from a resident for a solid, powder-coated, galvanized metal picket fence in a residential zoning district. Furthermore, staff has received requests for high-quality, precast concrete wall materials for residential privacy fencing.

The UDC does not clearly define what is considered acceptable residential grade fencing material for non-required fences in residential zoning districts. This amendment to Article 8 will help provide clarity and allow staff to review requests on a case-by-case basis, with the Chief Building Official having the final decision. If an applicant is unhappy with the final decision, they can appeal their request to the

Zoning Board of Adjustments and Appeals. Staff has reviewed benchmark cities, and this process is in line with other municipalities.

With the new section, the Chief Building Official would review the request based on the following criteria:

- The proposed material must be manufactured in a factory, have an above-average lifespan, and meet building code requirements.
- A manufacturer's specification sheet is required with the submittal of the permit.
- Visual elevations must be submitted.
 - If metal is used, a durable finish must be applied at the factory.
 - If precast masonry is used, it must simulate a material like wood or stone.
- The proposed material must comply with the intent of the UDC.

RECOMMENDATION:

The Planning and Zoning Commission recommended approval by a vote of 7-0.

The Development Review Committee (DRC) recommends approval.

The City Council Development Committee (CCDC) recommended approval by a vote of 3-0.

BODY:

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AMENDING ARTICLE 8: LANDSCAPE AND SCREENING STANDARDS OF THE UNIFIED DEVELOPMENT CODE TO CREATE AN ADMINISTRATIVE EXCEPTION PROCESS FOR ALTERNATIVE FENCE MATERIALS IN RESIDENTIAL ZONING DISTRICTS OF THE UNIFIED DEVELOPMENT CODE, ESTABLISHED BY ORDINANCE NUMBER 4779, PASSED ON NOVEMBER 20, 1990; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND TO BECOME EFFECTIVE UPON ITS PASSAGE, APPROVAL, AND PUBLICATION

WHEREAS, Section 1.11.3.1 of the Unified Development Code of the City of Grand Prairie, Texas states: "Amendments to the text of the Unified Development Code shall be initiated only by action of the City Council or City Council Development Committee directing the City Manager or designee to initiate such a request on behalf of the City, or by the initiative of the City Manager or designee"; and

WHEREAS, after consideration of said amendments, the City Manager of the City of Grand Prairie, Texas directed city staff to initiate the preparation of an ordinance amending the Unified Development Code for submittal to the Planning and Zoning Commission of Grand Prairie, Texas for consideration of a recommendation to the City Council; and

WHEREAS, on January 11, 2022, city staff presented the proposed ordinance amendments to Article 8: Landscaping and Screening Standards of the Unified Development Code to the City Council Development Committee of the City of Grand Prairie, Texas for consideration of a proposal to initiate said amendments; and

WHEREAS, on January 11, 2022, the City Council Development Committee of the City of Grand Prairie, Texas recommended approval of the proposed amendments; and

WHEREAS, Notice was given of a public hearing on said amendments to be held by the Planning and Zoning Commission of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 P.M. on February 14, 2022, such Notice of the time and place of such hearing having been given at least ten (10) days prior to such hearing by publication in the Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, after consideration of said amendments, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 7-0 to recommend approval to the City Council of Grand Prairie, Texas, that said amendments should be approved since its provisions are in the public interest and will promote the health, safety and welfare of the community; and

WHEREAS, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building, at 6:30 P.M. on March 1, 2022 to consider the advisability of amending the Code of Ordinances and the Unified Development Code as recommended by the Planning and Zoning Commission, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS THAT:

SECTION 1. Article 8: Landscape and Screening Standards of the Unified Development Code of the City of Grand Prairie, Texas be amended as shown in Exhibit A – Article 8 of this ordinance, with proposed additions of text being shown in underlined print, and deleted text being shown with a single line strikethrough.

SECTION 2. Unchanged sections of affected Articles and Appendices, shall remain in full force and effect, save and except for necessary modifications to the “Table of Contents” affecting page numbering, and for necessary modifications to related terminology or phrases that have been modified by this amendment that will affect a similar modification to interrelated terminology and phrases cross-referenced in other Articles in the Unified Development Code.

SECTION 3. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such provisions and such holding shall not affect the validity of the remaining portions thereof.

SECTION 4. All of the regulations provided in this ordinance are hereby declared to be governmental and for the health, safety and welfare of the general public. Any member of the City Council or any City official or employee charged with the enforcement of this ordinance, acting for the City of Grand Prairie, Texas, in the discharge of his duties, shall not thereby render himself personally liable; and he is hereby relieved of all personal liability for any damage that might occur to persons or property as a result of any act required or permitted in the discharge of his said duties.

SECTION 5. Any person, firm, association of persons, company, corporation, or their agents, servants, or employees violating or failing to comply with any of the provisions of this article shall be fined in an amount not to exceed two thousand dollars (\$2,000.00), and each day any violation of noncompliance continues shall constitute a separate and distinct offense. The penalty provided herein shall be cumulative or other remedies provided by state law, and the power of injunction as provided in V.T.C.A. Local Government Code Section 54.016 and as may be amended, may be exercised in enforcing this article whether or not there has been a complaint filed.

SECTION 6. The terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

SECTION 7. This ordinance shall be in full force and effect from and after its passage, approval and publication.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THIS THE 1ST DAY OF MARCH 2022.

ORDINANCE NO. #-2022

CASE NO. TAM-22-01-0001

Article 8

LANDSCAPE AND SCREENING

LAST UPDATE: DRAFT

CASE NUMBER: TAM-22-01-0001

ORDINANCE NO. XXXXX-2022

ARTICLE 8: LANDSCAPE AND SCREENING

Table of Contents

		Page No.
Section 1	<i>Purpose</i>	2
Section 2	<i>Definitions</i>	2
Section 3	<i>Applicability</i>	9
Section 4	<i>Irrigation Plan</i>	13
Section 5	<i>Landscape Enhancements</i>	27
Section 6	<i>Landscaping for Residential Development</i>	29
Section 7	<i>Submittal Requirements</i>	30
Section 8	<i>Public Improvement Districts</i>	35
Section 9	<i>Screening</i>	35
Section 10	<i>Fencing</i>	47
Section 11	<i>Fencing Exceptions</i>	58
Section 12	<i>Dimensional Gap Between Abutting Residential Fences</i>	59
Section 13	<i>Fence Maintenance</i>	59
Section 14	<i>Gated Entryway</i>	60
Section 15	<i>Exhibits and Recommended Varieties</i>	61
Section 16	<i>Tree Protection and Mitigation</i>	72



ARTICLE 8: LANDSCAPE AND SCREENING

SECTION 1 - PURPOSE

- 8.1.1. It is the purpose of this article to preserve the existing natural environment, minimize the amount of irrigation whenever possible, and provide landscape amenities, setbacks and screening that promote a positive urban image, quality development and enhanced property values. It is also the intent of this article and the City of Grand Prairie to preserve existing trees whenever possible and discourage clear cutting of lots for development. Landscaping shall also be used to promote safety and foster a pedestrian environment as appropriate. All landscaping shall have the characteristics of an organism, in the manner of a living plant.

SECTION 2 - DEFINITIONS

- 8.2.1. For the purpose of this article, the following definitions shall supersede all previous interpretations in the Unified Development Code.

Agricultural Use: The use of land to produce plant or animal products, such as growing crops, raising and pasturing of livestock, or farming. It does not include the processing of plant or animal products after harvesting or the production of timber or forest products.

Air Gap: A complete physical separation between the free flowing discharge end of a potable water supply pipeline and an open or non-pressure receiving vessel.

Artificial Lot: Portion of a one acre or larger tract that contains the area to be developed as an individual project and that encompasses all improvements, including parking related to the project, or as further defined in [Section 8.5.1.B](#).

Atmospheric Vacuum Breaker: An assembly containing an air inlet valve, a check seat, and an air inlet port. The flow of water into the body causes the air inlet valve to close the air inlet port. When the flow of water stops the air inlet valve falls and forms a check against back-siphonage. At the same time, it opens the air inlet port allowing air to enter and satisfy the vacuum. Also known as an Atmospheric Vacuum Breaker Back-Siphonage Prevention Assembly.

Backflow Prevention: The mechanical prevention of reverse flow, or back siphonage, of non-potable water from an irrigation system into the potable water source.

Backflow Prevention Assembly: Any assembly used to prevent backflow into a potable water system. The type of assembly used is based on the existing or potential degree of health hazard and backflow condition.

Buffer Yard: A buffer yard is a strip of land, together with a specified amount of planting, that may be required between land uses to eliminate or minimize impact between the uses. Only those structures used for buffering and/or screening purposes shall be located

8-2

ARTICLE 8: LANDSCAPE AND SCREENING

within a buffer yard. The buffer yard shall not include any paved area except for pedestrian sidewalks or vehicular drives that may intersect the buffer yard and which shall be the minimum width necessary to provide pedestrian or vehicular access.

Building Area: That portion of a building site exclusive of the required yard areas on which a structure or building improvements may be erected and including the actual structure, driveway, parking lot, pool and other construction as shown on a site plan.

Building Pad: The actual foundation area of a building and a reasonable area around the foundation necessary for construction and grade transitions.

Clear Cutting: The removal of all of the trees or a significant majority of the trees within an area of land.

Completion of Irrigation System Installation: When the landscape irrigation system has been installed, all minimum standards *have been* met, all tests *have been* performed, and the irrigator is satisfied that the system is operating correctly.

Consulting: The act of providing advice, guidance, review or recommendations related to landscape irrigation systems or other professional services.

Crime Prevention Through Environmental Design (CPTED): An urban design concept that emphasizes natural surveillance, territorial reinforcement, control of natural access and the use of design features that prohibit entry or access to targeted areas.

Critical Root Zone (CRZ): The area of undisturbed natural soil around a tree defined by a concentric circle with a radius equal to the distance from the trunk to the outermost portion of the drip line (see [Exhibit 3](#)).

Cross-Connection: An actual or potential connection between a potable water source and an irrigation system that may contain contaminants or pollutants or any source of water that has been treated to a lesser degree in the treatment process.

Cut/Fill: Areas where the natural ground level has been excavated (cut) or fill brought in.

Design: The act of determining the various elements of a landscape irrigation system that will include, but not be limited to, elements such as collecting site specific information, defining the scope of the project, defining plant watering needs, selecting and laying out emission devices, locating system components, conducting hydraulics calculations, identifying any local regulatory requirements, or scheduling irrigation work at a site. Completion of the various components will result in an irrigation plan.

Design Pressure: The pressure that is required for an emission device to operate properly. Design pressure is calculated by adding the operating pressure necessary at an

8-3

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

emission device to the total of all pressure losses accumulated from an emission device to the water source.

Director: The Development Review Committee, or his or her designated agent.

Double Check Valve: An assembly that is composed of two independently acting, approved check valves, including tightly closed resilient seated shutoff valves attached at each end of the assembly and fitted with properly located resilient seated test cocks. Also known as a Double Check Valve Backflow Prevention Assembly.

Drip Line: A vertical line running through the outermost portion of the canopy of a tree and extending to the ground. (see [Exhibit 3](#))

Electrified fence: A fence energized with an electrical current.

Emission Device: Any device that is contained within an irrigation system and that is used to apply water. Common emission devices in an irrigation system include, but are not limited to, spray and rotary sprinkler heads, and drip irrigation emitters.

Employed: Engaged or hired to provide consulting services or perform any activity relating to the sale, design, installation, maintenance, alteration, repair, or service to a professional service such as irrigation systems. A person is employed if that person is in an employer-employee relationship as defined by Internal Revenue Code, 26 United States Code Service, §3212(d) based on the behavioral control, financial control, and the type of relationship involved in performing employment related tasks.

Gross Site Area: Area used to calculate landscape requirements. This area is calculated as follows:

For Undeveloped Sites: All areas of a site, except required buffer yards.

For Developed Sites: All areas of the expanded site, except required buffer yards and requirements of [Section 8.3.1.2](#).

Head-to-Head Spacing: The spacing of spray or rotary heads equal to the manufacturer's published radius of the head.

Health Hazard: A cross-connection or potential cross-connection with an irrigation system that involves any substance that may, if introduced into the potable water supply, cause death or illness, spread disease, or have a high probability of causing such effects.

Hydraulics: The science of dynamic and static water; the mathematical computation of determining pressure losses and pressure requirements of an irrigation system.

8-4

ARTICLE 8: LANDSCAPE AND SCREENING

Inspector: A licensed plumbing inspector, water district operator, other governmental entity, or irrigation inspector who inspects irrigation systems and performs other enforcement duties for a municipality or water district as an employee or as a contractor.

Installer: A person who actually connects an irrigation system to a private or public raw or potable water supply system or any water supply, who is licensed according to Title 30, Texas Administrative Code, Chapter 30 (relating to Occupational Licenses and Registrations).

Irrigation Inspector: A person who inspects irrigation systems and performs other enforcement duties for a municipality or water district as an employee or as a contractor and is required to be licensed under Title 30, Texas Administrative Code, Chapter 30 (relating to Occupational Licenses and Registrations).

Irrigation Plan: A scaled drawing of a landscape irrigation system, which lists required information, the scope of the project, and represents the changes made in the installation of the irrigation system.

Irrigation Program: Pursuant to House Bill (HB) 1656, HB 4, and Senate Bill (SB) 3, of the 80th Legislative Session, the Texas Commission on Environmental Quality (TCEQ) adopted Rule #2007-027-344-CE, effective on January 1, 2009 Chapter 344 of the Texas Commission on Environmental Quality requires municipalities with a population of 20,000 or more to adopt a landscape irrigation program.

Irrigation Services: Selling, designing, installing, maintaining, altering, repairing, servicing, permitting, providing consulting services regarding, or connecting an irrigation system to a water supply.

Irrigation System: An assembly of component parts that is permanently installed for the controlled distribution and conservation of water to irrigate any type of landscape vegetation in any location, and/or to reduce dust or control erosion. This term does not include a system that is used on or by an agricultural operation as defined by Texas Agricultural Code, §251.002.

Irrigation Technician: A person who works under the supervision of a licensed irrigator to install, maintain, alter, repair, service or supervise installation of an irrigation system, including the connection of such system in or to a private or public, raw or potable water supply system or any water supply, and who is required to be licensed under Title 30, Texas Administrative Code, Chapter 30 (relating to Occupational Licenses and Registrations).

Irrigation Zone: A subdivision of an irrigation system with a matched precipitation rate based on plant material type (such as turf, shrubs, or trees), microclimate factors (such as sun/shade ratio), topographic features (such as slope) and soil conditions (such as sand, loam, clay, or combination) or for hydrological control.

8-5

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Irrigator: A person who sells, designs, offers consultations regarding, installs, maintains, alters, repairs, services or supervises the installation of an irrigation system, including the connection of such system to a private or public, raw or potable water supply system or to any water supply and who is required to be licensed under Title 30, Texas Administrative Code, Chapter 30 (relating to Occupational Licenses and Registrations).

Irrigator-in-Charge: The irrigator responsible for all irrigation work performed by an exempt business owner, including, but not limited to obtaining permits, developing design plans, supervising the work of other irrigators or irrigation technicians, and installing, selling, maintaining, altering, repairing, or servicing a landscape irrigation system.

Landscape Irrigation: The science of applying the necessary amount of water to promote or sustain healthy growth of plant material or turf.

License: An occupational license that is issued by the Texas Commission on Environmental Quality under Title 30, Texas Administrative Code, Chapter 30 to an individual that authorizes the individual to engage in an activity that is covered by Title 30, Texas Administrative Code, Chapter 30.

Mainline: A pipe within an irrigation system that delivers water from the water source to the individual zone valves.

Maintenance Checklist: A document made available to the irrigation system’s owner or owner’s representative that contains information regarding the operation and maintenance of the irrigation system, including, but not limited to checking and repairing the irrigation system, setting the automatic controller, checking the rain or moisture sensor, cleaning filters, pruning grass and plants away from irrigation emitters, using and operating the irrigation system, the precipitation rates of each irrigation zone within the system, any water conservation measures currently in effect from the water purveyor, the name of the water purveyor, a suggested seasonal or monthly watering schedule based on current evapotranspiration data for the geographic region, and the minimum water requirements for the plant material in each zone based on the soil type and plant material where the system is installed.

Major Maintenance, Alteration, Repair, or Service: Any activity that involves opening to the atmosphere the irrigation main line at any point prior to the discharge side of any irrigation zone control valve. This includes, but is not limited to, repairing or connecting into a main supply pipe, replacing a zone control valve, or repairing a zone control valve in a manner that opens the system to the atmosphere.

Master Valve: A remote control valve located after the backflow prevention device that controls the flow of water to the irrigation system mainline.

8-6



ARTICLE 8: LANDSCAPE AND SCREENING

Matched Precipitation Rate: The condition in which all sprinkler heads within an irrigation zone apply water at the same rate.

Municipal/Public Domain Property: Examples of this would include City Hall, City R.O.W., public parks, Corps of Engineers property, State of Texas R.O.W., library, fire stations, water tower sites or similar properties.

New Development: New development shall include any new construction on a vacant lot, or any new construction that expands or enlarges an existing lawful nonconforming use. Any expansion or enlargement of a lawful nonconforming use shall upgrade landscaping and screening on the site to meet all applicable regulations of Article 8 of the Unified Development Code.

New Installation: With reference to irrigation systems, is an irrigation system installed at a location where one did not previously exist.

Parkway: The area of public right-of-way located between the curb or edge of pavement and the property line.

Pass-Through Contract: A written contract between a contractor or builder and a licensed service provider such as an irrigator or exempt business owner to perform part or all of a professional service such as the irrigation services relating to an irrigation system.

Permeable Pavement: A paving material that permits water penetration to a soil depth of 18 inches or more. Permeable pavement may consist of nonporous surface materials poured or laid in sections not exceeding one square foot in area and collectively comprising less than two-thirds of the total surface area.

Potable Water: Water that is suitable for human consumption.

Pressure Vacuum Breaker: An assembly containing an independently operating internally loaded check valve and an independently operating loaded air inlet valve located on the discharge side of the check valve. It is also known as a Pressure Vacuum Breaker Back-siphonage Prevention Assembly.

Protective Barrier: Permanent fence or wall that restricts direct access to the energized portions of an electrified fence. Permanent shall mean not being able to be removed, lifted or relocated without the use of a tool or equipment.

Protective Fencing: Snow fencing, chain link fence, orange vinyl construction fencing or similar fencing with a minimum four-foot approximate height.

Reclaimed Water: Domestic or municipal wastewater which has been treated to a quality suitable for beneficial use, such as landscape irrigation.

8-7

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Records of Landscape Irrigation Activities: The irrigation plans, contracts, warranty information, invoices, copies of permits, and other documents that relate to the installation, maintenance, alteration, repair, or service of a landscape irrigation system.

Reduced Pressure Principle Backflow Prevention Assembly: An assembly containing two independently acting approved check valves together with a hydraulically operating mechanically independent pressure differential relief valve located between the two check valves and below the first check valve.

Replacement Tree: A tree that is selected and planted in accordance with [Section 8.6.2](#).

Secure area: The area bounded by the electrified fence.

Static Water Pressure: The pressure of water when it is not moving.

Stormwater Facilities: Structures designed to manage stormwater runoff: storm water ponds and wetlands, bio-retention areas, infiltration trench and surface sand filters, enhanced swales and grass channels, filter strips and stream buffers, and green roofs.

Supervision: As applied to irrigation systems, means the on-the-job oversight and direction by a licensed irrigator who is fulfilling his or her professional responsibility to the client and/or employer in compliance with local or state requirements. Also a licensed installer working under the direction of a licensed irrigator or, beginning January 1, 2009, an irrigation technician who is working under the direction of a licensed irrigator to install, maintain, alter, repair or service an irrigation system.

Target Hardening: The use of landscape features, such as planters, foliage, trees, CPTED fences, or artwork, to make a designated site impenetrable.

Temporary Landscaping: Stabilization of raw soil when seasonal conditions do not permit establishment of required landscaping. Erosion control blankets/mats, mulch, straw anchoring, compost blankets, straw rolls, curlex blankets, straw erosion mats, spun bonded fabrics, may be used to hold the soil in place. During winter, temporary grass or turf (such as rye, fescue, etc.) may be planted until the required permanent turf is installed.

Territorial Reinforcement: The use of landscape plantings, pavement designs, gateway treatments and CPTED fences to define property lines and distinguish private spaces from public spaces.

Tree: Any self-supporting woody perennial plant which will attain a trunk diameter of three inches or more when measured at a point four and one-half feet above ground level and normally an overall height of at least 15 feet at maturity, usually with one main stem or trunk and many branches.

8-8

ARTICLE 8: LANDSCAPE AND SCREENING

Tree, Specimen: A tree, other than an understory tree, which has a diameter of six inches or greater measured four and one-half feet above the ground; and an understory tree that has a diameter of two inches or greater measured four and one-half feet above the ground. The diameter of a multi-trunk tree shall be determined by adding the total diameter of the largest trunk to one-half the diameter of each additional trunk.

Tree, Street: Trees, on land lying between property lines on either side of all streets, avenues, or ways within the City.

Tree, Understory: A tree *that* has significant positive characteristics worthy of preservation and that does not typically attain great size.

Water Conservation: The design, installation, service, and operation of an irrigation system in a manner that prevents the waste of water, promotes the most efficient use of water, and applies the least amount of water that is required to maintain healthy individual plant material or turf, reduce dust, and control erosion.

Xeriscape: Landscaping characterized by the use of vegetation that is drought-tolerant or a low water use in character and that sets landscape maintenance principles that promote good horticultural practices and efficient use of water.

Zone Flow: A measurement, in gallons per minute or gallons per hour, of the actual flow of water through a zone valve in an irrigation system, calculated by individually opening each zone valve and obtaining a valid reading after the pressure has stabilized. For design purposes, the zone flow is the total flow of all nozzles in the zone at a specific pressure.

Zone Valve: An automatic valve that controls a single zone of a landscape irrigation system.

SECTION 3 - APPLICABILITY

8.3.1. The provisions of this Article apply to all development within the corporate limits of the City, subject to the exemptions in [Section 8.3.1.5.B](#). Existing landscaping and screening that was lawfully in place on or before December 1, 2006, but which does not conform to amended regulations of this revised article shall be lawful non-conforming in regards to landscaping and screening requirements.

8.3.1.1. Residential Landscaping

A. Construction of new structures for which a building permit is required except construction or expansion of one-family and two-family dwellings. Landscape requirements do not apply to structures that do not create or expand building square footage or to temporary structures such as job shacks associated with construction activities.

8-9

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- B. Single-family detached, single-family attached and single-family townhome residential uses shall conform to the requirements prescribed in this section.
- C. Residential developers and property owners may select a native/adaptive vegetation, traditional vegetation or combination landscaping option at the time of development. Non-potable and/or grey water may be used in a landscaping plan designed by a licensed landscape architect using a drip irrigation (zoned) system with separate flows for turf and plant areas. Controls shall be weather-based with moisture, wind, and freeze sensors. The underground irrigation system shall be a minimum of 12 inches below grade level and designed by a licensed professional Irrigator, a registered Landscape Architect, Architect, or Engineer. (**refer to Article 8751; Texas Revised Civil Statutes and the Texas Board of Irrigators**)
- D. Where possible single-family neighborhoods adjacent residential development will be buffered through the use of landscaping, berms, fences, walls or open space to mitigate adverse effects.
- E. Residential lots with front or side yards adjoining a designated collector or arterial thoroughfare shall have a rain, wind, and freeze sensor installed with every new irrigation system.

8.3.1.2. *Non-Residential Landscaping*

- A. A minimum of 75% of all required landscape areas shall be located in the front yard between the building line and the front property line. For lots with multiple street frontages, a minimum of 75% of all required landscape areas shall be located in the yards abutting the street with the greatest pavement width, unless the Development Review Committee approves a modification to this requirement. When an artificial lot or a building expansion is separated from a property abutting a street frontage, the required landscape areas may be located anywhere on the site subject to this section.
- B. Expansion of structures used for non-residential uses that increase the footprint of existing structures by less than 30%, and that add less than 3,000 square feet to existing structures are not subject to additional landscaping requirements.
- C. Expansions that exceed either the 30% or the 3,000 square foot criteria are subject to the landscape requirements stipulated in this Article.

8-10


 The logo for Grand Prairie, featuring the words "Grand" and "Prairie" in a stylized, handwritten font. "Grand" is written above "Prairie", and both are in a dark green color.

ARTICLE 8: LANDSCAPE AND SCREENING

- D. Parking lot construction and or expansion by more than 30% of the parking area will be required to meet the same landscaping standards as the district in which they are located or the use associated with the parking.
- E. All landscape materials shall be installed prior to the issuance of a certificate of occupancy. Upon completion of installation of all plant materials, the owner or agent shall notify the Department of Planning and Development of the completion of the installation and shall request an inspection. Verification by the Building Inspection Division of the installation being in compliance with this article and/or the approved landscape plan shall be required prior to obtaining a certificate of occupancy unless otherwise authorized.
- F. Modification of Landscape Requirements: The Development Review Committee or their designee may approve minor changes of this section due to unusual topographic constraints, sight restrictions, sitting requirements, preservation of existing stands of native trees or similar conditions. These minor changes may vary the location of required landscape materials, but may not reduce the amount of required landscape area or the required amount of landscape materials. The landscape plan shall be submitted and shall specify the modifications requested and present a justification for such modifications.

8.3.1.3. Landscaping Adjacent to Public Right-of-Way

- A. **Street Trees:** Street trees shall be provided in all districts, excluding Single Family and Two Family Districts (except where indicated by this Section), and along designated arterials and collectors as identified on the Thoroughfare Plan.
- B. **Visibility:** Trees shall not be planted within the visibility triangle areas of any street, valley and/or driveway intersections (subject to transportation's current ordinance). At the time of building permit review, the Director of Transportation or a designee may extend the visibility triangle areas adjacent to street, alley, and/or driveway intersections accessing or near a curvilinear street section in which sight easement and visibility demands are greater than for a straight street section. All trees and landscaping must also comply with any sight easement restrictions established on the property.
- C. **Crime Prevention Through Environmental Design (CPTED):** The City will reduce the probability of crime by requiring lighting, maintaining sightlines, reducing fence height, and any other means deemed necessary by the Development Review Committee on a case-by-case basis.

8-11

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- D. **Screening:** Landscaping, berms, fencing, walls, and open space will be the primary method for screening public spaces from private land uses.

8.3.1.4. *Revitalization of Older Developed Areas*

To revitalize an area, landscaping shall be provided that is compatible with the zoning district and urban design standards to which the area is being revitalized. Landscaping shall also include environmental design elements for crime prevention.

8.3.1.5. *Exceptions, Exemptions and Appeals*

A. *Exceptions*

1. An application for an exception to the landscaping and screening standards and the tree requirements for an existing developments may be granted by the Zoning Board of Adjustments and Appeals if one of the two following circumstances exist:
 - a. The existing development does not have adequate permeable area to support the required landscaping.
 - b. The existing on-site landscaping, and/or the proposed landscaping meets the intent of the City's landscaping requirements.

- B. *Exemptions.* The following situations are not subject to the landscaping and screening requirements stipulated in this Article:

1. Expansion of existing one-family and two-family dwellings;
2. Structures that do not create or expand building square footage or to temporary structures such as job shacks associated with construction activities.
3. Expansion of structures used for non-residential uses that increase the footprint of existing structures by less than 30%, or that add less than 3,000 square feet to existing structures. Expansions that exceed either the 30% or the 3,000 square foot criteria are subject to these landscape requirements.
4. Change in use of an existing structure, unless the structure is expanded in accordance with Section 8.3.1.5.C.

8-12

GRAND
PRAIRIE

ARTICLE 8: LANDSCAPE AND SCREENING

5. Except as stated elsewhere, all properties zoned for single-family, single-family attached and single-family townhome uses in which a preliminary or final plat has been approved before June 1, 2006 shall be exempt from the requirements of Article 8. This exemption does not apply to schools, churches or government facilities on residentially zoned properties.
6. ***Stormwater Facilities:*** Structures designed to manage stormwater runoff (e.g. storm water ponds and wetlands, bio-retention areas, infiltration trench and surface sand filters, enhanced swales and grass channels, filter strips and stream buffers, and green roofs). Stormwater facilities will be landscaped as outlined in **Article 17** of the iSWM Design Manual for Site Development (see current version of Drainage Design Manual).

C. Appeals

1. A hearing before the Planning and Zoning Commission shall be set for the next meeting following the filing of an appeal by the applicant with the Director.
2. The City Council shall hear all appeals of decisions made by the Planning and Zoning Commission. All decisions of the Council in this regard shall be final.
3. The Planning Director shall have the discretion to modify landscaping requirements in the CPTED area(s) to promote natural access control and surveillance, territorial reinforcement and target hardening.

SECTION 4 – LANDSCAPE IRRIGATION PROGRAM

8.4.1. The provisions of this article are to be in compliance with TCEQ Landscape Irrigation Rule 2007-027-344-CE, effective January 1, 2009, as established by the 80th Legislative Session in consultation with the Irrigator Advisory Council. The rule sets standards for irrigation system design, installation, operation, water conservation, and duties and responsibilities of licensed irrigators and irrigator inspectors. It also exempts certain irrigation systems from permitting requirements.

8.4.1.1. *Valid license required:*

Any person who connects an irrigation system to the water supply within the city or the city's extraterritorial jurisdiction, commonly referred to as the ETJ, must hold a valid license, as defined by Title 30, Texas Administrative Code, Chapter 30 and required by Chapter 1903 of the Texas Occupations Code, or

8-13

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

as defined by Chapter 365, Title 22 of the Texas Administrative Code and required by Chapter 1301 of the Texas Occupations Code.

8.4.1.2. Exemptions:

A property owner is not required to be licensed in accordance with Texas Occupations Code, Title 12, §1903.002C(1) if he or she is performing irrigation work in a building or on a premises owned or occupied by the person as the person's home. A home or property owner who installs an irrigation system must meet the standards contained in Title 30, Texas Administrative Code, Chapter 344 regarding spacing, water pressure, spraying water over impervious materials, rain or moisture shut-off devices or other technology, backflow prevention and isolation valves.

8.4.1.3. Permit Required:

Any person installing an irrigation system within the territorial limits or extraterritorial jurisdiction (ETJ) of the city is required to obtain a permit from the Planning and Development Department of the City of Grand Prairie. Any plan approved for a permit must be in compliance with the requirements of this article of the Unified Development Code.

Exemptions:

1. An irrigation system that is of an on-site sewage disposal system, as defined by Section 355.002, Health and Safety Code; or
2. An irrigation system used on or by an agricultural operation as defined by Section 251.002, Agriculture Code; or
3. An irrigation system connected to a groundwater well used by the property owner for domestic use.

8.4.1.4. Backflow Prevention Methods and Devices

- A. Any irrigation system that is connected to the potable water supply must be connected through a backflow prevention method approved by the Texas Commission on Environmental Quality (TCEQ). The backflow prevention device must be approved by the American Society of Sanitary Engineers; or the Foundation for Cross-Connection Control and Hydraulic Research, University of Southern California; or the Uniform Plumbing Code; or any other laboratory that has equivalent capabilities for both the laboratory and field evaluation of backflow prevention assemblies. The backflow prevention device must be installed in accordance with the laboratory approval standards or if the approval does not include specific installation information, the manufacturer's current published recommendations.

8-14

ARTICLE 8: LANDSCAPE AND SCREENING

- B. If conditions that present a health hazard exist, one of the following methods must be used to prevent backflow;
1. *An air gap may be used if:*
 - a. There is an unobstructed physical separation; and
 - b. The distance from the lowest point of the water supply outlet to the flood rim of the fixture or assembly into which the outlet discharges is at least one inch or twice the diameter of the water supply outlet, whichever is greater.
 2. *Reduced pressure principle backflow prevention assemblies may be used if:*
 - a. The device is installed at a minimum of 12 inches above ground in a location that will ensure that the assembly will not be submerged; and
 - b. Drainage is provided for any water that may be discharged through the assembly relief valve.
 3. *Pressure vacuum breakers may be used if:*
 - a. No back-pressure condition will occur; and
 - b. The device is installed at a minimum of 12 inches above any downstream piping and the highest downstream opening. Pop-up sprinklers are measured from the retracted position from the top of the sprinkler.
 4. *Atmospheric vacuum breakers may be used if:*
 - a. No back-pressure will be present;
 - b. There are no shutoff valves downstream from the atmospheric vacuum breaker;
 - c. The device is installed at a minimum of six inches above any downstream piping and the highest downstream opening. Pop-up sprinklers are measured from the retracted position from the top of the sprinkler;
 - d. There is no continuous pressure on the supply side of the atmospheric vacuum breaker for more than 12 hours in any 24-hour period; and
 - e. A separate atmospheric vacuum breaker is installed on the discharge side of each irrigation control valve, between the valve and all the emission devices that the valve controls.
- C. Backflow prevention devices used in applications designated as health hazards must be tested upon installation and annually thereafter.

[If the city chooses to permit the use of double check valves:]

- D. If there are no conditions that present a health hazard, double check valve backflow prevention assemblies may be used to prevent backflow if the device is tested upon installation and test cocks are used for testing only.

8-15

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- E. If a double check valve is installed below ground:
1. Test cocks must be plugged, except when the double check valve is being tested;
 2. Test cock plugs must be threaded, water-tight, and made of non-ferrous material;
 3. A y-type strainer is installed on the inlet side of the double check valve;
 4. There must be a clearance between any fill material and the bottom of the double check valve to allow space for testing and repair; and
 5. There must be space on the side of the double check valve to test and repair the double check valve.
- F. If an existing irrigation system without a backflow-prevention assembly requires maintenance, alteration, repair, or service, the system must be connected to the potable water supply through an approved, properly installed backflow prevention method before any major maintenance, alteration, repair, or service is performed.
- G. If an irrigation system is connected to a potable water supply through a double check valve, pressure vacuum breaker, or reduced pressure principle backflow assembly and includes an automatic master valve on the system, the automatic master valve must be installed on the discharge side of the backflow prevention assembly.
- H. The irrigator shall ensure the backflow prevention device is tested by a licensed Backflow Prevention Assembly Tester prior to being placed in service and the test results provided to the local water purveyor and the irrigation system's owner or owner's representative within ten business days of testing of the backflow prevention device.

8.4.1.5. *Specific Conditions and Cross-Connection Control*

- A. Before any chemical is added to an irrigation system connected to the potable water supply, the irrigation system must be connected through a reduced pressure principle backflow prevention assembly or air gap.
- B. Connection of any additional water source to an irrigation system that is connected to the potable water supply can only be done if the irrigation system is connected to the potable water supply through a reduced-pressure principle backflow prevention assembly or an air gap.

8-16


 Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- C. Irrigation system components with chemical additives induced by aspiration, injection, or emission system connected to any potable water supply must be connected through a reduced pressure principle backflow device.
- D. If an irrigation system is designed or installed on a property that is served by an on-site sewage facility, as defined in Title 30, Texas Administrative Code, Chapter 285, then:
 - 1. All irrigation piping and valves must meet the separation distances from the On-Site Sewage Facilities system as required for a private water line in Title 30, Texas Administrative Code, Section 285.91(10);
 - 2. Any connections using a private or public potable water source that is not the city's potable water system must be connected to the water source through a reduced pressure principle backflow prevention assembly as defined in Title 30, Texas Administrative Code, Section 344.50; and
 - 3. Any water from the irrigation system that is applied to the surface of the area utilized by the On-Site Sewage Facility system must be controlled on a separate irrigation zone or zones so as to allow complete control of any irrigation to that area so that there will not be excess water that would prevent the On-Site Sewage Facilities system from operating effectively.

8.4.1.6. *Water Conservation*

All irrigation systems shall be designed, installed, maintained, altered, repaired, serviced, and operated in a manner that will promote water conservation as defined in the Definitions section of this ordinance.

8.4.1.7. *Irrigation Plan Design: Minimum Standards*

- A. An irrigator shall prepare an irrigation plan for each site where a new irrigation system will be installed. A paper or electronic copy of the irrigation plan must be on the job site at all times during the installation of the irrigation system. A drawing showing the actual installation of the system is due to each irrigation system owner after all new irrigation system installations. During the installation of the irrigation system, variances from the original plan may be authorized by the licensed irrigator if the variance from the plan does not:
 - 1. Diminish the operational integrity of the irrigation system;
 - 2. Violate any requirements of this ordinance; and
 - 3. Go unnoted in red on the irrigation plan.
- B. The irrigation plan must include complete coverage of the area to be irrigated. If a system does not provide complete coverage of the area to be irrigated, it must be noted on the irrigation plan.

8-17

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- C. All irrigation plans used for construction must be drawn to scale. The plan must include, at a minimum, the following information:
1. The irrigator's seal, signature, and date of signing;
 2. All major physical features and the boundaries of the areas to be watered;
 3. A North arrow;
 4. A legend;
 5. The zone flow measurement for each zone;
 6. Location and type of each:
 - a. Controller; and
 - b. Sensor (for example, but not limited to, rain, moisture, wind, flow, or freeze);
 7. Location, type, and size of each:
 - a. Water source, such as, but not limited to a water meter and point(s) of connection;
 - b. Backflow prevention device;
 - c. Water emission device, including, but not limited to, spray heads, rotary sprinkler heads, quick-couplers, bubblers, drip, or micro-sprays;
 - d. Valve, including but not limited to, zone valves, master valves, and isolation valves;
 - e. Pressure regulation component; and
 - f. Main line and lateral piping;
 8. The scale used; and
 9. The design pressure.

8.4.1.8. *Design and Installation: Minimum Requirements*

- A. No irrigation design or installation shall require the use of any component, including the water meter, in a way, which exceeds the manufacturer's published performance limitations for the component.
- B. *Spacing*

8-18


 Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

1. The maximum spacing between emission devices must not exceed the manufacturer's published radius or spacing of the device(s). The radius or spacing is determined by referring to the manufacturer's published specifications for a specific emission device at a specific operating pressure.
2. New irrigation systems shall not utilize aboveground spray emission devices in landscapes that are less than 48 inches not including the impervious surfaces in either length or width and which contain impervious pedestrian or vehicular traffic surfaces along two or more perimeters. If pop-up sprays or rotary sprinkler heads are used in a new irrigation system, the sprinkler heads must direct flow away from any adjacent surface and shall not be installed closer than four inches from a hardscape, such as, but not limited to, a building foundation, fence, concrete, asphalt, pavers, or stones set with mortar.
3. Narrow paved walkways, jogging paths, golf cart paths or other small areas located in cemeteries, parks, golf courses or other public areas may be exempted from this requirement if the runoff drains into a landscaped area.

C. *Water pressure*

Emission devices must be installed to operate at the minimum and not above the maximum sprinkler head pressure as published by the manufacturer for the nozzle and head spacing that is used. Methods to achieve the water pressure requirements include, but are not limited to, flow control valves, a pressure regulator, or pressure compensating spray heads.

D. *Piping*

Piping in irrigation systems must be designed and installed so that the flow of water in the pipe will not exceed a velocity of five feet per second for polyvinyl chloride (PVC) pipe.

E. *Irrigation Zones*

Irrigation systems shall have separate zones based on plant material type, microclimate factors, topographic features, soil conditions, and hydrological requirements.

F. *Matched precipitation rate*

Zones must be designed and installed so that all of the emission devices in that zone irrigate at the same precipitation rate.

8-19

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- G. Irrigation systems shall not spray water over surfaces made of concrete, asphalt, brick, wood, stones set with mortar, or any other impervious material, such as, but not limited to, walls, fences, sidewalks, streets, etc.

H. *Master valve*

When provided, a master valve shall be installed on the discharge side of the backflow prevention device on all new installations.

I. *PVC pipe primer solvent*

All new irrigation systems that are installed using PVC pipe and fittings shall be primed with a colored primer prior to applying the PVC cement in accordance with the Uniform Plumbing Code (Section 316) or the International Plumbing Code (Section 605).

J. *Rain or moisture shut-off devices or other technology*

All new automatically controlled irrigation systems must include sensors or other technology designed to inhibit or interrupt operation of the irrigation system during periods of moisture or rainfall. Rain or moisture shut-off technology must be installed according to the manufacturer's published recommendations. Repairs to existing automatic irrigation systems that require replacement of an existing controller must include a sensor or other technology designed to inhibit or interrupt operation of the irrigation system during periods of moisture or rainfall.

K. *Isolation valve*

All new irrigation systems must include an isolation valve between the water meter and the backflow prevention device.

L. *Depth coverage of piping*

Piping in all irrigation systems must be installed according to the manufacturer's published specifications for depth coverage of piping.

1. If the manufacturer has not published specifications for depth coverage of piping, the piping must be installed to provide minimum depth coverage of six inches of select backfill, between the top of the pipe and the natural grade of the topsoil. All portions of the irrigation system that fail to meet this standard must be noted on the irrigation plan. If the area being irrigated has rock at

8-20

GRAND
PRAIRIE

ARTICLE 8: LANDSCAPE AND SCREENING

a depth of six inches or less, select backfill may be mounded over the pipe. Mounding must be noted on the irrigation plan and discussed with the irrigation system owner or owner's representative to address any safety issues.

2. If a utility, man-made structure or roots create an unavoidable obstacle, which makes the six-inch depth coverage requirement impractical, the piping shall be installed to provide a minimum of two inches of select backfill between the top of the pipe and the natural grade of the topsoil.
3. All trenches and holes created during installation of an irrigation system must be backfilled and compacted to the original grade.

M. *Wiring irrigation systems*

1. Underground electrical wiring used to connect an automatic controller to any electrical component of the irrigation system must be listed by Underwriters Laboratories as acceptable for burial underground.
2. Electrical wiring that connects any electrical components of an irrigation system must be sized according to the manufacturer's recommendation.
3. Electrical wire splices which may be exposed to moisture must be waterproof as certified by the wire splice manufacturer.
4. Underground electrical wiring that connects an automatic controller to any electrical component of the irrigation system must be buried with a minimum of six inches of select backfill.

N. Water contained within the piping of an irrigation system is deemed to be non-potable. No drinking or domestic water usage, such as, but not limited to, filling swimming pools or decorative fountains, shall be connected to an irrigation system. If a hose bib (an outdoor water faucet that has hose threads on the spout) is connected to an irrigation system for the purpose of providing supplemental water to an area, the hose bib must be installed using a quick coupler key on a quick coupler installed in a covered purple valve box and the hose bib and any hoses connected to the bib must be labeled "non potable, not safe for drinking." An isolation valve must be installed upstream of a quick coupler connecting a hose bib to an irrigation system.

O. Beginning January 1, 2010, either a licensed irrigator or a licensed irrigation technician shall be on-site at all times while the landscape irrigation system

8-21

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

is being installed. When an irrigator is not onsite, the irrigator shall be responsible for ensuring that a licensed irrigation technician is on-site to supervise the installation of the irrigation system.

8.4.1.9. *Completion of Irrigation System Installation*

Upon completion of the irrigation system, the irrigator or irrigation technician who provided supervision for the on-site installation shall be required to complete four items:

- A. A final “walk through” with the irrigation system's owner or the owner's representative to explain the operation of the system;
- B. The maintenance checklist on which the irrigator or irrigation technician shall obtain the signature of the irrigation system's owner or owner's representative, date, and seal the checklist. If the irrigation system's owner or owner's representative is unwilling or unable to sign the maintenance checklist, the irrigator shall note the time and date of the refusal on the irrigation system's owner or owner's representative's signature line. The irrigation system owner or owner's representative will be given the original maintenance checklist and a duplicate copy of the maintenance checklist shall be maintained by the irrigator. The items on the maintenance checklist shall include but are not limited to:
 1. The manufacturer's manual for the automatic controller, if the system is automatic;
 2. A seasonal (spring, summer, fall, winter) watering schedule based on either current/real time evapotranspiration or monthly historical reference evapotranspiration (historical ET) data, monthly effective rainfall estimates, plant landscape coefficient factors, and site factors;
 3. A list of components, such as the nozzle, or pump filters, and other such components; that require maintenance and the recommended frequency for the service; and
 4. The statement, “This irrigation system has been installed in accordance with all applicable state and local laws, ordinances, rules, regulations or orders. I have tested the system and determined that it has been installed according to the Irrigation Plan and is properly adjusted for the most efficient application of water at this time.”

8-22

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- C. A permanent sticker which contains the irrigator's name, license number, company name, telephone number and the dates of the warranty period shall be affixed to each automatic controller installed by the irrigator or irrigation technician. If the irrigation system is manual, the sticker shall be affixed to the original maintenance checklist. The information contained on the sticker must be printed with waterproof ink, and include;
- D. The irrigation plan indicating the actual installation of the system must be provided to the irrigation system's owner or owner representative.

8.4.1.10. *Maintenance, Alteration, Repair, or Service of Irrigation Systems*

- A. The licensed irrigator is responsible for all work that the irrigator performed during the maintenance, alteration, repair, or service of an irrigation system during the warranty period. The irrigator or business owner is not responsible for the professional negligence of any other irrigator who subsequently conducts any irrigation service on the same irrigation system.
- B. All trenches and holes created during the maintenance, alteration, repair, or service of an irrigation system must be returned to the original grade with compacted select backfill.
- C. Colored PVC pipe primer solvent must be used on all pipes and fittings used in the maintenance, alteration, repair, or service of an irrigation system in accordance with the Uniform Plumbing Code (*Section 316*) or the International Plumbing Code (*Section 605*).
- D. When maintenance, alteration, repair or service of an irrigation system involves excavation work at the water meter or backflow prevention device, an isolation valve shall be installed, if an isolation valve is not present.

8.4.1.11. *Reclaimed Water*

Reclaimed water may be utilized in landscape irrigation systems if:

1. There is no direct contact with edible crops, unless the crop is pasteurized before consumption;
2. The irrigation system does not spray water across property lines that do not belong to the irrigation system's owner;
3. The irrigation system is installed using purple components;

8-23

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

4. The domestic potable water line is connected using an air gap or a reduced pressure principle backflow prevention device, in accordance with Title 30, Texas Administrative Code, Section 290.47(i) (relating to Appendices);
5. A minimum of an eight inch by eight inch sign, in English and Spanish, is prominently posted on/in the area that is being irrigated, that reads, "RECLAIMED WATER – DO NOT DRINK" and "AGUA DE RECUPERACIÓN – NO BEBER"; and
6. Backflow prevention on the reclaimed water supply line shall be in accordance with the regulations of the city's water provider.

8.4.1.12. Advertisement Requirements

- A. All vehicles used in the performance of irrigation installation, maintenance, alteration, repair, or service must display the irrigator's license number in the form of "LI _____" in a contrasting color of block letters at least two inches high, on both sides of the vehicle.
- B. All forms of written and electronic advertisements for irrigation services must display the irrigator's license number in the form of "LI _____." Any form of advertisement, including business cards, and estimates which displays an entity's or individual's name other than that of the licensed irrigator must also display the name of the licensed irrigator and the licensed irrigator's license number. Trailers that advertise irrigation services must display the irrigator's license number.
- C. The name, mailing address, and telephone number of the commission must be prominently displayed on a legible sign and displayed in plain view for the purpose of addressing complaints at the permanent structure where irrigation business is primarily conducted and irrigation records are kept.

8.4.1.13. Contracts

- A. All contracts to install an irrigation system must be in writing and signed by each party and must specify the irrigator's name, license number, business address, current business telephone numbers, the date that each party signed the agreement, the total agreed price, and must contain the statement, "Irrigation in Texas is regulated by the Texas Commission on Environmental Quality (TCEQ), MC-178, P.O. Box 13087, Austin, Texas 78711-3087. TCEQ's website is: www.tceq.state.tx.us." All contracts must include the irrigator's seal, signature, and date.
- B. All written estimates, proposals, bids, and invoices relating to the installation or repair of an irrigation system(s) must include the irrigator's name, license number, business address, current business telephone number(s), and the statement: "Irrigation in Texas is regulated by the Texas Commission On Environmental

8-24



ARTICLE 8: LANDSCAPE AND SCREENING

Quality (TCEQ) (MC-178), P.O. Box 13087, Austin, Texas 78711-3087. TCEQ's web site is: www.tceq.state.tx.us."

- C. An individual who agrees by contract to provide irrigation services as defined in Title 30, Texas Administrative Code, Section 344.30 (relating to License Required) shall hold an irrigator license issued under Title 30, Texas Administrative Code, Chapter 30 (relating to Occupational Licenses and Registrations) unless the contract is a pass-through contract as defined in Title 30, Texas Administrative Code, Section 344.1(36) (relating to Definitions). If a pass-through contract includes irrigation services, then the irrigation portion of the contract can only be performed by a licensed irrigator. If an irrigator installs a system pursuant to a pass-through contract, the irrigator shall still be responsible for providing the irrigation system's owner or through contract, the irrigator shall still be responsible for providing the irrigation system's owner or owner's representative a copy of the warranty and all other documents required under this chapter. A pass-through contract must identify by name and license number the irrigator that will perform the work and must provide a mechanism for contacting the irrigator for irrigation system warranty work.
- D. The contract must include the dates that the warranty is valid.

8.4.1.14. Warranties for Systems

- A. On all installations of new irrigation systems, an irrigator shall present the irrigation system's owner or owner's representative with a written warranty covering materials and labor furnished in the new installation of the irrigation system. The irrigator shall be responsible for adhering to terms of the warranty. If the irrigator's warranty is less than the manufacturer's warranty for the system components, then the irrigator shall provide the irrigation system's owner or the owner's representative with applicable information regarding the manufacturer's warranty period. The warranty must include the irrigator's seal, signature, and date. If the warranty is part of an irrigator's contract, a separate warranty document is not required.
- B. An irrigator's written warranty on new irrigation systems must specify the irrigator's name, business address, and business telephone number(s), must contain the signature of the irrigation system's owner or owner's representative confirming receipt of the warranty and must include the statement: "Irrigation in Texas is regulated by the Texas Commission on Environmental Quality (TCEQ), MC-178, P.O. Box 130897, Austin, Texas 78711-3087. TCEQ's website is: www.tceq.state.tx.us."
- C. On all maintenance, alterations, repairs, or service to existing irrigation systems, an irrigator shall present the irrigation system's owner or owner's representative a written document that identifies the materials furnished in the maintenance, alteration, repair, or service. If a warranty is provided, the irrigator shall abide by the terms. The warranty document must include the irrigator's name and business contact information.

8-25

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

8.4.1.15. *Duties and Responsibilities of City Irrigation Inspectors*

A licensed irrigation inspector shall enforce the ordinance of the city, and shall be responsible for:

1. Verifying that the appropriate permits have been obtained for an irrigation system and that the irrigator and installer or irrigation technician, if applicable, are licensed;
2. Inspecting the irrigation system;
3. Determining that the irrigation system complies with the requirements of this chapter;
4. Determining that the appropriate backflow prevention device was installed, tested, and test results provided to the city;
5. Investigating complaints related to irrigation system installation, maintenance, alteration, repairs, or service of an irrigation system and advertisement of irrigation services; and
6. Maintaining records according to this chapter.

8.4.1.16. *Items not covered by this ordinance*

Any item not covered by this ordinance and required by law shall be governed by the Texas Occupations Code, the Texas Water Code, Title 30 of the Texas Administrative Code, and any other applicable state statute or Texas Commission on Environmental Quality rule.

8.4.1.17. *Fees*

The city council may create a schedule of fees for obtaining and renewing an irrigation permit. These fees will be in amounts sufficient to cover the city's costs in issuing and renewing the permits, including, but not limited to, staff time and other overhead costs as stated in [Article 22, "Fee Schedule,"](#) of the Unified Development Code.

8.4.1.18. *Enforcement*

- A. The city shall have the power to administer and enforce the provisions of this chapter as may be required by governing law. Any person, firm, corporation or agent who shall violate a provision of this code, or fails to comply therewith, or with any of the requirements thereof, is subject to suit for injunctive relief as well as prosecution for criminal violations. Any violation of the ordinance codified in this chapter is declared to be a nuisance.

8-26



ARTICLE 8: LANDSCAPE AND SCREENING

- B. Any person violating any provision of chapter shall, upon conviction, be fined a sum not exceeding \$2000.00. Each day that a provision of this chapter is violated shall constitute a separate offense. An offense under this chapter is a Class C misdemeanor, punishable by a fine of up to \$2000.00.
- C. Nothing in this chapter shall be construed as a waiver of the city's right to bring a civil action to enforce the provisions of this chapter and to seek remedies as allowed by law, including, but not limited to the following:
 - 1. Injunctive relief to prevent specific conduct that violates the ordinance or to require specific conduct that is necessary for compliance with the ordinance; and
 - 2. Other available relief.

SECTION 5 – LANDSCAPE ENHANCEMENTS

- 8.5.1. A landscape plan that complies with the provisions of this article and stipulates whether native/adaptive (or combination) landscaping will be used shall be submitted to the Building Official prior to the issuance of a building permit for any development for which building permits are required and to which this article applies. The landscape plan will be one component of the Site Plan and will be certified by a certified landscape architect. It is recommended that developers also develop a general outdoor annual water budget as a guideline for irrigation design and long-term landscape management. (see *National Association of Home Builders Model Green Home Building Guidelines, December 13, 2004*)
- A. Irrigation requirements may also be met/supplemented by the harvesting of rainwater using an approved rainwater collection system.
 - B. Artificial Lot: If a developer wishes to develop a portion of a one-acre or larger tract, the developer may request that the Development Review Committee delineate the portion of the tract to be developed as an artificial lot, for purposes of calculating landscape requirements for the development. Artificial lots may be delineated in any type of development, including schools and churches. All artificial lots shall meet the following requirements:
 - 1. Contain the entire area on which the development is to occur, including all paved areas; and
 - 2. Contain a land area of less than 50% of the entire tract, or, if the proposed artificial lot contains more than 50% of the entire tract, the Development Review Committee must determine that a

8-27

Grand
Prairie

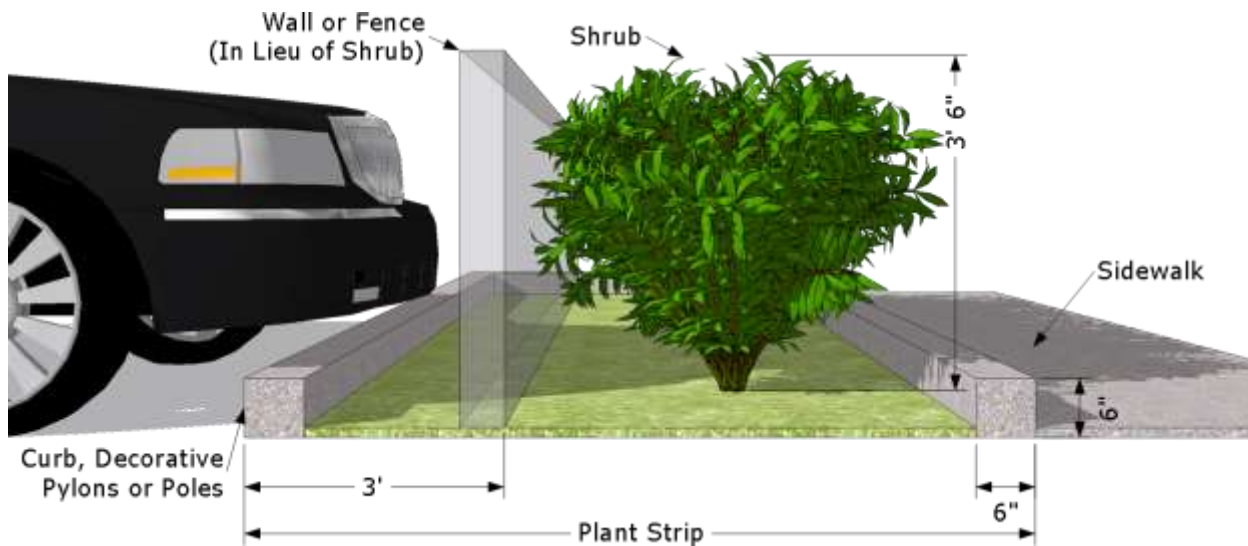
ARTICLE 8: LANDSCAPE AND SCREENING

substantial amount of the tract is not affected by the proposed development; and

3. Be delineated on the landscape plan.

- C. **Vehicle Protection:** All required landscape areas, planters, walls, and/or fences adjacent to vehicle use areas shall be protected by wheel stops, curbs, or other physical barriers (see Figure 1).

Figure 1: Vehicle Protection



- D. The Development Review Committee, upon receipt of a landscape plan may approve types of landscaping, other than those listed in Exhibit 5.
- E. In no case shall man-made landscape plant material be submitted for the required landscape vegetation.
- F. Due to seasonal considerations, if the developer cannot establish permanent turf, they shall be required to stabilize the landscape areas to prevent erosion with temporary grasses or turf (rye, fescue, etc.), until permanent landscaping is installed as stated in [Section 8.5.1](#).

- 8.5.2. **Landscaping Required by Zoning Districts:** Construction projects subject to this section shall provide landscape areas from 4% to 15% of the total site plan as specified by the Concept Plan, Planned Development and/or Site Plan. (See *Chart A below*)

8-28

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Chart A: Landscape Requirement by Zoning District

Zoning District	Landscaping Percentage
Neighborhood Services (NS)	10%
Office (O)	10%
General Retail (GR)	5%
General Retail-One (GR-1)	10%
Commercial (C)	5%
Commercial-One (C-1)	10%
Central Area (CA) & CBD¹	5%
Heavy Commercial (HC)²	10%
Light Industrial (LI)²	10%
Heavy Industrial (HI)²	10%
Hospital District (HC)	10%
Institutional Uses	10% in Single Family (SF) and Two Family (2F) Districts; Same % of the Zoning District in the Non-Residential Districts
Multi-Family-One (MF-1)³	15%
Multi-Family-Two (MF-2)³	15%
Multi-Family-Three (MF-3)³	15%
Planned Development (PD)	[Use Closest Related Zoning District]
Agricultural (A)⁴	4%

Notes:

1. Percentage of undeveloped area.
2. See Appendix X.
3. Where not being used for agricultural purposes.
4. Institutional Uses are considered to be Churches, Schools, and Governmental Facilities.

SECTION 6 – LANDSCAPING FOR RESIDENTIAL DEVELOPMENT

8.6.1. Landscaping requirements for single-family detached, single family attached, and single-family townhome residential uses.

A. Each residence at the time of occupancy shall have the following minimum landscaping:

1. Tree planting requirement.

- a. For lots containing 5,000 square feet or less: One three-inch caliper tree planted in front of each residence. Tree species shall be in accordance with the City of Grand Prairie approved tree list (See Exhibit 5). Large and medium trees may NOT be planted beneath utility lines.
- b. For lots greater than 5,000 square feet in area: One three-inch caliper tree shall be planted in front of each house with a second three-inch caliper tree to be located per Developer/Owner preference. Tree species shall be in

8-29

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

accordance with the City of Grand Prairie approved tree list (See Exhibit 5). Large and medium trees may NOT be planted beneath utility lines.

2. Front yard shrubs shall be provided for each residence in any size increment totaling a minimum of 30-gallons per residential lot. Shrub species to be in accordance with the City of Grand Prairie approved shrub list (**see Exhibit 5**).
 3. Residential lots may contain up to 40% of landscape area in groundcover.
- B. The Developer/Owner shall receive credit towards the single-family residential tree planting requirement for utilizing existing trees in accordance with criteria prescribed in **Section 8.7.2.2** paragraphs (a) through (h), except that existing trees that die shall be replaced if the remaining trees are less than the amounts prescribed in **Section 8.7.2.1**.
- C. City staff shall administratively approve building setback variances for the purpose of preserving existing trees.

8.6.2. Landscaping requirements for Multi-Family Landscaping

The minimum amount of required landscaping shall include 15% of the total site plan area as specified by the Concept Plan, Planned Development and/or Site Plan.

SECTION 7 – SUBMITTAL REQUIREMENTS

8.7.1 Submittals and Requirements.

Landscaping shall consist of two or more of the following types of planting materials including but not limited to planted grass, trees, shrubs, ground cover (up to 40% of landscape area), and/or other forms of plant material and may include the use of berms. The use of native or adapted plant material is encouraged to reduce irrigation requirements.

- A. A landscape plan submission must consist of two copies of blue line or black line prints. The plan shall be drawn at a scale of 1-inch equals 50 feet or larger (e.g., 1 inch equals 40 feet, 1 inch equals 30 feet, etc.) and be on a standard drawing sheet of a size not to exceed 24 inches by 36 inches. A plan, which cannot be drawn in its entirety on a 24 inches by 36 inches sheet, must be drawn with appropriate match lines on two or more sheets.
- B. The following information shall ALSO be shown on the required landscape plan:
 1. Date, scale, north point, and the names, addresses and telephone numbers of both the property owner and the person preparing the plan;

8-30

GRAND
PRAIRIE

ARTICLE 8: LANDSCAPE AND SCREENING

2. Location of existing boundary lines and dimensions of the lot;
3. Approximate centerlines of existing water courses, the location of the floodway and floodplain, and the location of existing and proposed streets and alleys, utility easements, driveways, and sidewalks on or adjacent to the lot;
4. Project name, street address, and lot and block description;
5. Calculation of gross site area showing all existing and proposed structures, parking and access, other paved areas, and all required buffer yard areas;
6. Calculation of required landscape area and percentages of ground cover and turf;
7. Location and dimensions of areas to be landscaped and total amount of landscaped area;
8. Location, number, species and planting size of all trees, shrubs;
9. Groundcover including both required and actual materials provided;
10. Location and coverage of required irrigation system per [Section 8.4.1](#);
11. Delineation of artificial lot, if applicable, including depiction of all proposed and existing structures, access drives, appurtenant parking and other paved areas proposed for expansion or new construction; and
12. The location of overhead utility lines.
13. Any additional requirements as promulgated by the Director.

8.7.2 Planting Materials.

8.7.2.1 Trees

All new trees required to meet the landscaping requirement shall be a minimum three-inch caliper measured at a height of 6 inches above the ground. If a trunk tree splits into multiple trunks below the 6-inch level, then the multiple trunk trees are measured:

1. Measure largest trunk circumference;
2. Remaining trunks, measure circumference divided by two;

Sum of (1) and (2) for the total circumference, divide total by 3.14 for caliper.

8-31

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

For every 500 square feet of required landscape area, or fraction thereof, of required landscape area, one tree of three-inch caliper or larger is required. Trees shall be located on the site in the following sequence:

1. Street trees shall be planted a minimum of 25 linear feet apart and a maximum of 50 linear feet apart along collectors and arterials (the Director of Planning or his designee can permit the clustering of street trees);
2. Parking lot trees shall be located in the parking area (one tree for each 20 parking spaces);
3. The remaining required trees may be located throughout the site. Street trees and parking lot trees are included in the total tree requirements and are not in addition to that requirement.

Trees may NOT be planted beneath utility lines.

Up to 50% of the required number of parking lot trees may be replaced by five-gallon shrubs at the rate of one-tree equals ten (10) shrubs. Shrubs cannot be substituted for street trees.

Existing trees of three-inch caliper (measured at a height of 4.6 feet above the ground) or larger may be substituted for required landscaping trees of equal size. (see Exhibit 6 for planting detail).

8.7.3 Tree Credits.

- A. Existing trees may be used to fulfill tree-planting requirements pertaining to screening and landscaping if such trees are in a healthy and growing condition. When existing trees are used to fulfill screening and landscape requirements, their locations shall be accepted, and the formal spacing requirements of the screening and landscape standards may be waived. Protected Tree species can be used for tree credit according to Section 16: Tree Protection Standards. If existing trees are used for credit, the developer shall submit a tree protection plan according to Section 8.16.6.A and protect trees during construction according to Section 8.16.7.
- B. Residential property owners shall maintain and preserve all minimum required trees on their property that were required by ordinance at the time the residential lot was initially developed. Waivers to this requirement shall be granted under the following conditions:
 1. Where the existence of such trees poses a threat to the health and/or safety of the general public, or
 2. To trees that expire naturally due to no negligence of the property owner.
- C. If a single-family residential development preserves an average of 30 or more trees per acre, the minimum lot size within the development or subdivision may be reduced by ten (10)

8-32

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

percent below base zoning district requirements. Use of preserved areas for this provision is subject to the following:

1. Area of preservation may be dedicated to the City, including land required by the City's Park Department, or to be maintained by a Homeowner's Association or Public Improvement District,
2. The City reserves the right to require maintenance by a Homeowner's Association, PID, trust, or other entity if acceptance of the open space dedication is not in the best interests of the City.
3. A tree survey is required to be approved with the Final Plat when utilizing this provision for credit (see Tree survey, Section 8.16.6.B).

D. View Obstruction

Trees shall not be planted within the visibility triangle areas of any street, alley and/or driveway intersections (subject to transportation's current ordinance). At time of building permit review, the Director of Transportation or designee may extend the visibility triangle areas adjacent to street, alley, and/or driveway intersections accessing or near a curvilinear street section in which sight easement and visibility demands are greater than for a straight street section. (see [Article 23, "Master Transportation Plan,"](#) of the Unified Development Code) All trees and landscaping must also comply with any sight easement restrictions established on the property.

E. Additional Trees

For every 3-inch caliper tree planted in addition to those required by this article, the required landscape area may be reduced by 200 square feet, provided however, the minimum required landscape area may not be reduced to less than 50 % of the original requirement.

F. Shrubs

In order to meet the landscaping requirement, shrubs shall be a minimum five-gallon container size and meet the standards of the American Association of Nurserymen. (See Exhibit 7 for planting detail). For every 50 square feet, or fraction thereof, of required landscape area, one shrub a minimum of five gallons in size is required. Up to 50% of the required number of shrubs may be replaced by three-inch caliper trees at the rate of 10 shrubs equals one tree.

1. In addition to required trees and shrubs, all of the required landscape area must be covered with grass, organic mulch, or live groundcover (up to 40% of landscape area). A native/adaptive materials landscape plan that reflects a variety of native or adapted plant materials having low maintenance and water requirements is encouraged.

8-33

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

2. All plant materials, including replacement trees, shall be specified and planted with plants using the standards of most recently published version of the American Standards for Nursery Stock, by the American Association of Nurserymen. All plants shall be clearly tagged by the providing nursery for easy inspection with the Botanical Name. All landscaping shall be installed according to sound horticultural practices, in a manner designed to encourage quick establishment and healthy growth (see Exhibits 6 and 7).
3. All required landscape areas shall be located outside the exterior perimeter of the footprint of a building or structure.
4. Whenever practical, topsoil that is removed during construction shall be stored onsite and conserved for later use in required planting areas or topsoil of native type may be imported and placed to a depth of six inches in all landscaped areas while also maintain a level of no more than three inches within the critical root zone.

8.7.4 Maintenance.

All required landscaping shall be kept neat, healthy, and free of weeds and debris. Upon written notification, any dead or deteriorated plants shall be removed and replaced within 30 days from date of notification. Replacement plants may be selected from Exhibit 5 for fulfilling the requirements of the article. In the event the developer uses trees not identified in Exhibit 5, the requested tree must be submitted to the Director for approval. The owner shall maintain all landscape materials in good condition in accordance with the terms of this article.

When an automatic, underground irrigation system has been required, it must be maintained as required by the manufacturer's specification, in an operable condition and used on a regular basis. Regular use of such system will be verified by water utility records.

8.7.5 Temporary Landscaping.

If a developer cannot establish the required landscaping on a site due to seasonal considerations, a delay of up to six months in the installation of such landscaping may be allowed by the Director of Planning and Development. Stabilization of raw soil when seasonal conditions do not permit establishment of required landscaping. Erosion control blankets/mats, mulch, straw anchoring, compost blankets, straw rolls, curlex blankets, straw erosion mats, spun bonded fabrics, may be used to hold the soil in place. During winter, temporary grass or turf (such as rye, fescue, etc.) may be planted until the required permanent turf is installed. No final Letter of Compliance or Certificate of Occupancy shall be issued for a development until either the permanent, required

8-34

ARTICLE 8: LANDSCAPE AND SCREENING

landscaping is installed or the temporary landscaping is replaced by permanent landscaping within six months.

8.7.6 Lighting.

Reference [Article 10, "Parking and Loading Standards," Section 15, "Glare and Lighting Standards."](#)

SECTION 8 – PUBLIC IMPROVEMENT DISTRICTS

8.8.1 The City of Grand Prairie encourages and may require the creation of Public Improvement Districts (PIDs) under Chapter 372 of the Texas Local Government Code. A PID is a defined geographical area established to provide specific types of improvements or maintenance within the area, which are financed by assessments against the property owners within the area. The following improvements may be included within a PID:

- A. Landscaping and irrigation;
- B. Erection of fountains, distinctive lighting and signs;
- C. Construction/improvement of perimeter fencing;
- D. Construction/improvement of sidewalks;
- E. Acquiring/installing pieces of art or decorations;
- F. Acquiring/constructing or improving entry features; and
- G. Establishing or improving parks

SECTION 9 – SCREENING

It is the intent of the screening and fencing provisions of the UDC that applicants for all required screening and non-required fencing, both public and private, shall obtain a permit prior to beginning construction. A site plan of an acceptable scale shall be submitted for review prior to issuance of a fence permit, which clearly indicates the location of the fence with reference to the property line, the height of the fence, and the materials to be used in its construction.

8.9.1 Public Right-Of-Way.

Landscaping located in the right-of-way shall not be counted toward the on-site landscaping requirement, unless otherwise provided for in this article.

- A. All plantings within the parkways and medians shall be reviewed and approved by the Public Works Department, Transportation Services Department, and the Parks and Recreation Department.
- B. The Directors of Transportation, Public Works and Parks and Recreation may modify these requirements based on site conditions.

8-35

ARTICLE 8: LANDSCAPE AND SCREENING

- C. The Directors of Transportation, Public Works and Parks and Recreation may disallow any landscape materials to be placed in the parkway when a street widening is proposed.

8.9.1.1 *Parkways.*

- A. A permit is required for irrigation system within the parkway or median. Such encroachment application shall be made to the Director or designated representative by submittal of a site plan. Landscape materials, irrigation systems and the Departments of Transportation, Public Works, and Parks and Recreation shall approve their placement subject to the following requirements:

1. All plant material, except grass, located within the parkway shall be no closer than eight feet laterally from the face of curb and no more than 24" in height. The plant material shall be located so that pedestrians can walk parallel to the street within the parkway whether a paved sidewalk is or is not provided.
2. Public visibility easement of seven feet by 60 feet is required, by ordinance, at the intersection of two streets and eight feet by 70 feet at all driveways. (see [Article 23, "Master Transportation Plan,"](#) of the Unified Development Code)

8.9.1.2 *Mow Strip for Landscaping Within Center Median of Thoroughfares.*

Reinforced concrete mow curbs 18 inches wide x 5 inches deep should be provided to separate all planted areas from turf areas. All mow curbs shall have true radii and be tangent to adjacent segments. A minimum radius of 100 feet is recommended to allow for ease of maintenance with large equipment.

8.9.1.3 *Sidewalks.*

Specifications for the construction of sidewalks are given in [Article 10, "Platting," Section 26](#), and in [Appendix H, "Sidewalk Matrix"](#) of the Unified Development Code. Where sidewalks abut a perimeter fence or wall, the pavement shall fill the gap between the column and the fence or mow strips the width of the pilaster may be used.

8.9.2 **Adjacent Public Right-of-Way.**

8.9.2.1 *Street Trees.*

Street trees shall be provided in all districts, excluding Single Family and Two-Family Districts except where indicated by this Section, along designated

8-36

ARTICLE 8: LANDSCAPE AND SCREENING

arterials and collectors as identified on the Thoroughfare Plan. Where street trees front a property, they may be credited toward the total number of trees required by the Landscape Plan. Large or medium street trees may NOT be planted beneath overhead utility lines.

- A. Landscape materials, irrigation systems and their placement shall be approved by the Departments of Transportation, Public Works and Parks and Recreation subject to the following requirements:
 5. Plant materials 24 inches or greater in height and located within the parkway shall be no closer than eight feet, laterally, from the back of the curb and four feet, laterally, from the sidewalk.
 6. All landscaping shall be located so that pedestrians can walk parallel to the street within the parkway whether a paved sidewalk is or is not provided.
- B. Street trees shall not be located within eight feet of back of curb and shall NOT be planted between the curb and sidewalk. Trees must be spaced a minimum of 25 linear feet apart, and a maximum of 50 linear feet apart measured along the property line and/or linear frontage. The Development Review Committee may allow the clustering of trees due to topographic or physical conditions.
- C. Be of the species listed in *Exhibit 5*.
- D. Have one type of fence treatment a minimum of six feet from said tree to allow access for maintenance on major thoroughfares behind the street tree buffer.
- E. Street trees are not required in Single Family and Two Family Districts, in accordance with this Section except where property backs up to a designated arterial or collector.
 1. Such street trees shall be installed at the time of construction of the arterial or collector, or at the time of development of the subdivision adjacent to such roadway by the developer and shall be accepted as part of the road improvements by the Director of Public Works.
 2. The two-year maintenance bond for the road improvements shall also cover the street trees, and the developer shall be responsible for maintenance and replacement of such trees.
 3. Issuance of building permits within the subdivision may be subject to compliance with this requirement.

8-37

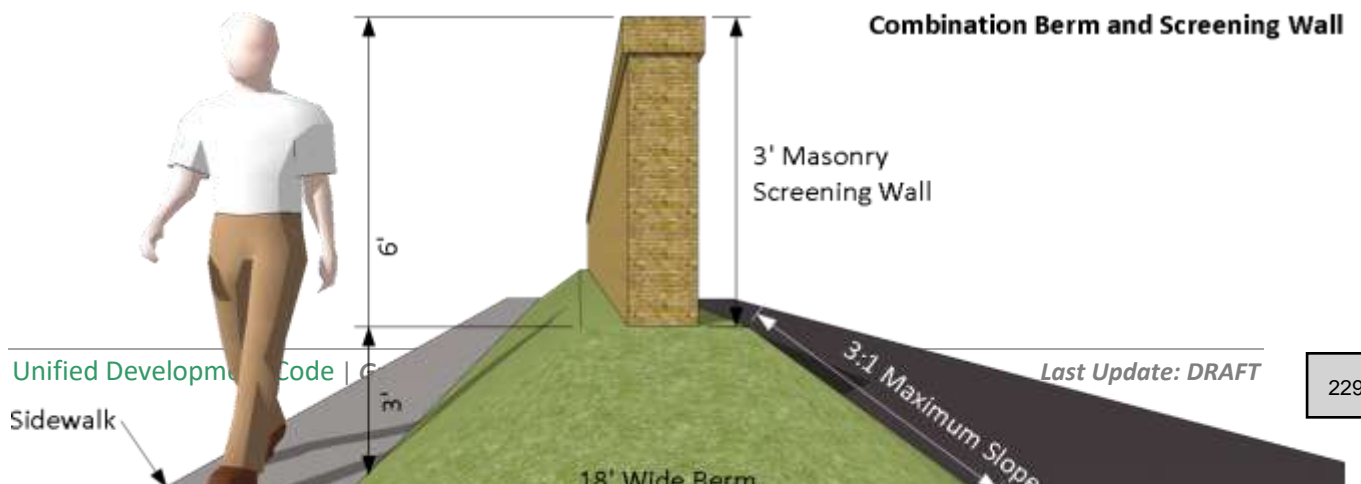
ARTICLE 8: LANDSCAPE AND SCREENING

- F. No structure, object, or plant of any type may obstruct vision from a height of 24 inches to a height of 12 feet above the street grade and eight feet above the sidewalk, including, but not limited to, trees, shrubs, buildings, fences, walks, signs, cars, trucks, etc.
- G. The Directors of Transportation, Public Works and Parks and Recreation may modify these requirements based on site conditions.
- H. The Directors of Transportation, Public Works and Parks and Recreation may disallow any landscape materials to be placed in the parkway when a street widening is proposed.
- I. No trees, except under story trees, shall be planted within 25 feet of a street light or where they significantly inhibit the projection of illumination on the street surface to a point midway between the light in question and the adjacent street light.
- J. Plants that are thorny, such as Pyracantha, or bear non-edible fruit that may cause illness, such as Pyracantha or China Berry, and other landscape features, which may pose an unusual health or safety problem, are prohibited.

8.9.2.2 **Parking Areas Adjacent to Public Right-of-Way.**

Loading docks and trucks berths: See Appendix X for buildings greater than **20,000 square feet**. For buildings less than 20,000 square feet or property under 5 net acres, a combination of opaque walls, screening fences, trees, shrubs, which are a minimum of eight feet in height, landscaped berms, or landscape areas that must be used to screen loading dock areas from view from the public street right-of-way adjacent to residential and/or retail areas; or from adjacent collectors and/or arterial streets that are defined in the Master Transportation Plan (*defined as a major street in figures below*). Screening shall be eight feet in height and of sufficient length to screen the maximum size trailer that can be accommodated on site.

Figure 2: Berm Screening Options



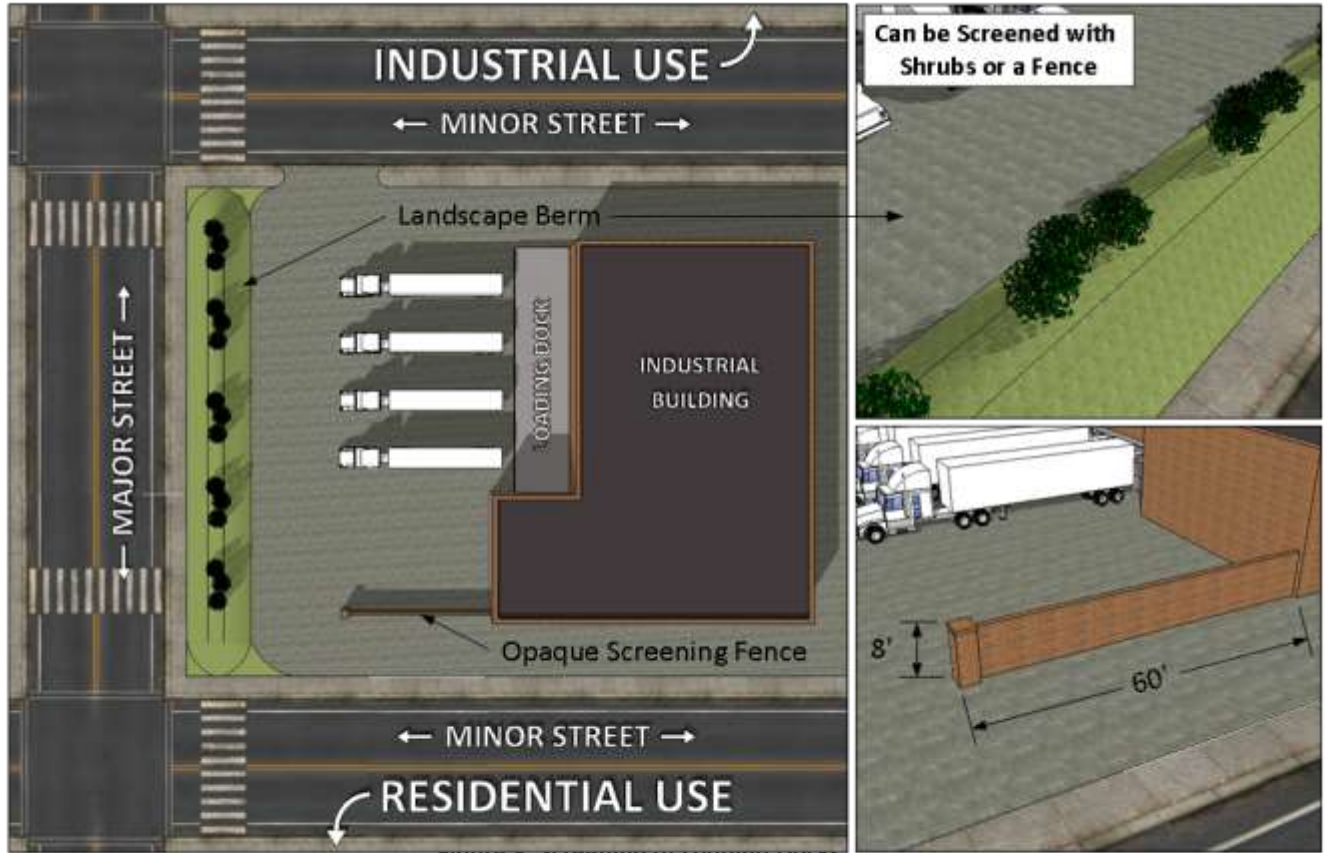


Figure 9. Screening of Loading Docks

Example: Docks and berths that accommodate a sixty (60) foot trailer shall be screened with a sixty (60) foot wall parallel to the berth. A minor street, with residential uses located across the street, will require the parallel screening. A major street will require the parallel screening regardless of the type of land uses located across the street.

8.9.2.3 **Designated Easements.**

A. Water and Sewer Lines:

1. Landscaping within all designated easements on site shall be restricted to grasses, ground covers, or decorative rock or gravel.
2. The City of Grand Prairie shall not be responsible for any tree damaged by work on water or sewer lines in an easement. If required trees are damaged or destroyed by such work, those requirements may be waived at the discretion of the Director.

8-39

Grand Prairie

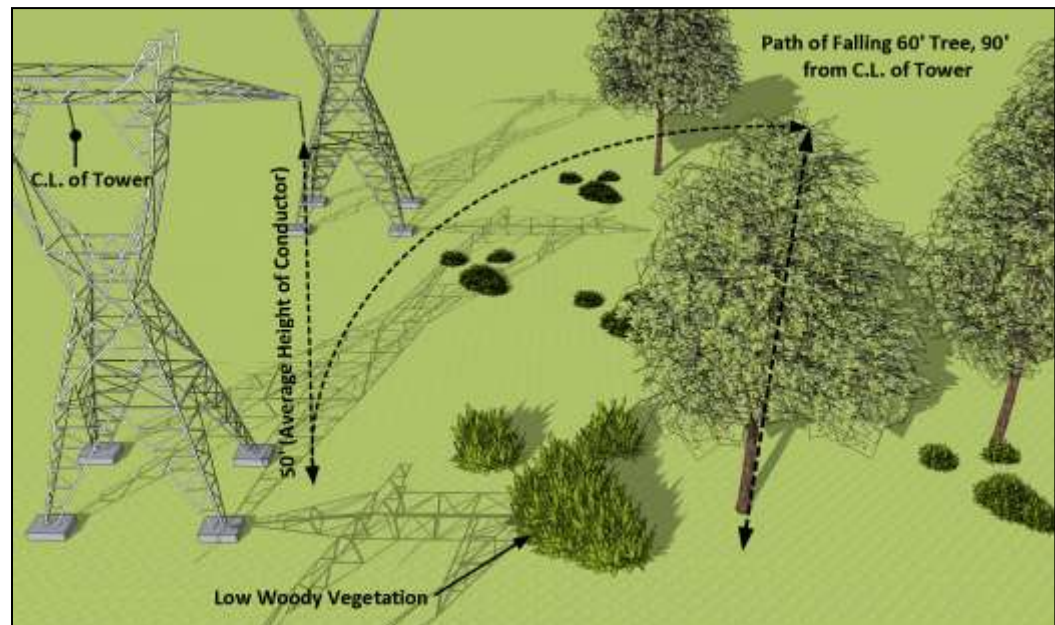
ARTICLE 8: LANDSCAPE AND SCREENING

3. No trees shall be planted over water and/or sewer lines.
4. Rainwater harvesting devices may not be placed within utility easements or required setbacks.

B. Overhead Electrical Transmission Lines and Fiber Optic Lines:

1. Plant material within the parkway shall be restricted to grasses, ground cover, or aggregate rock and/or gravel, (not to include climbing ground covers such as ivy, honeysuckle, etc.) and medium size shrubs (six to ten feet) keeping a minimum of one mature spread from each tower and/or three feet from each pole.
2. If a transmission line is located within a subdivision or a public or private Recreational area, no tree shall be planted which obtains a matured height that will pass within five feet of a transmission line conductor if it fell directly toward the line.

Figure 4: Trees Planted Near a Transmission Line Tower



C. Transmission Line Tower Within a Subdivision:

If a transmission line is located within a subdivision or a public or private recreational area, no tree shall be planted which obtains a matured height that will pass within five feet of a transmission line conductor if it fell directly toward the line.

ARTICLE 8: LANDSCAPE AND SCREENING

8.9.2.4 **Parking Areas.**

- A. One tree shall be provided for each 20 parking spaces in all non-residential developments; however, no car parking space shall be located greater than 100 feet from the center of a tree. Trees shall be a minimum of three-inch caliper measured four and one-half feet from the ground and planted within a planting island with a minimum dimension of five feet in width. The tree-planting island must be further planted with a ground cover, grass, or shrubs and may be counted toward the total required square footage of required landscaping.
- B. Parking areas shall be screened along all streets by a minimum three-foot high solid shrub hedges when mature, berm, fence, or combination of these. The height shall be measured from the finished grade of the parking lot at the front property line. In no case shall the slope of a berm exceed 3:1 unless it is retained on the private property side of the berm by usage of Millsap stone or similar non-porous material.
- C. In CPTED areas/neighborhoods, shrubbery shall be no more than three feet high for clear visibility.
- D. Runs of parking spaces within multi-family developments shall be limited to a maximum of 10 spaces without a landscaped island. However, up to 20 spaces may be permitted in situations where it is required to save existing trees.

8.9.3 **Residential Screening.**

8.9.3.1. **Thoroughfare Screening Fences at Subdivision Entrance.**

Required screening fences fronting along designated arterial or collector streets shall extend (or turn) into and along the side or rear lots lines, where such conditions exist, of residential lots that abut the local residential entry street(s) extending into the subdivision from the arterial or collector street. The extended (or turned) portion of said screen fence shall not encroach into the required front yard setback for any residential lot. Thoroughfare screening for residential development shall conform to the requirements found in Appendix W.

8.9.3.2. **Required Fences.**

All single family detached, single-family attached and two-family residential lots which back up to a collector and/or an arterial shall require a continuous screening fence in accordance with the following provisions.

8-41

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- A. The developer of lots platted after May 1, 1998 shall be required to construct a continuous screening fence along all lots which back up to a collector and/or an arterial as follows.
1. For lots where City Council has approved an ordinance requiring a specific fence or a fence was required by a note on the plat, a fence shall be constructed in accordance with the requirements of that ordinance or plat.
 2. For all other lots, the screening fence shall meet the requirements for a "Type 1" screening fence as defined in [Section 8.9.1](#) of this ordinance or, where the view beyond the fence is of a landscaped front or side yard, a "Type 2" fence as defined in [Section 8.9.2](#) of this ordinance.
- B. The developer of lots platted between November 20, 1990 (the date the Unified Development Code was adopted) and May 1, 1998 shall be required to construct a continuous screening fence along all lots which back up to a collector and/or an arterial as follows:
1. For lots where City Council has approved an ordinance requiring a specific fence or a fence was required by a note on the plat, a fence shall be constructed in accordance with the requirements of that ordinance or plat.
 2. For lots where a uniform fence has been constructed, as determined by the Development Review Committee as a uniform fence of consistent design and materials on more than 80% of the lots in a subdivision adjacent to a street, a fence shall be constructed which is built to the same standards and materials as the established uniform fence.
 3. For all other lots a fence shall be constructed which meets the requirements for a "Type 3" screening fence as defined in [Section 8.9.3](#) of this ordinance.
- C. For lots platted prior to November 20, 1990, a continuous screening fence shall be required along all lots which back up to a collector and/or an arterial as follows:
1. For lots where City Council has approved an ordinance requiring a specific fence or a fence was required by a note on the plat, a fence shall be constructed in accordance with the requirements of that ordinance or plat.
 2. Where a specific type of fence has been established adjacent to an arterial or collector in a development where no fence has been formally required by an ordinance or plat, the existing fence must be replaced or

8-42

ARTICLE 8: LANDSCAPE AND SCREENING

repaired with a fence built to the same standards as the established fence. An established fence shall be a fence determined by the Development Review Committee as a uniform fence of consistent design and materials, which is in place on more than 80% of the lots in that subdivision on that block adjacent to a collector or arterial. Chain link or other fence types more than 50% transparent shall not be considered a solid screening fence.

- D. If a required screening fence was not installed at the time of development, the screening fence shall be installed by the builder at the time of construction of the house on the subject lot.
- E. Detention Ponds: The perimeter boundary of a detention/retention pond, or a portion thereof, that is situated within 120 feet of a street right-of-way designated on the Master Transportation Plan as a Collector or Arterial thoroughfare shall be fenced with a four-foot high wrought iron type fence, equal in design to a Type 2 screening fence as specified in [Section 8.9.2](#) of the Grand Prairie Unified Development Code. Any portion of said fence for pond that either directly adjoins or is situated within 15 feet of the designated street right-of-way shall contain brick columns. Said brick columns shall equal or exceed the height of the fence and be spaced a maximum of 24 feet apart on center along the designated street right-of-way. Otherwise, no brick columns shall be required for fences that do not adjoin, or are situated more than 15 feet from the designated street right-of-way.
- F. The use of a chain link type fence as a substitute to the above requirement shall be considered by City staff if there are intervening structures or mature landscaping (existing or proposed) that would effectively screen the fence from view along the designated street right-of-way.

8.9.3.3. ***Common Lot to be established for Thoroughfare Screening Fences.***

New residential subdivisions platted after May 20, 2003 with required thoroughfare screening fences shall require the establishment of a separate common lot for the placement of required fences along designated arterial or collector streets. Said common lot (s) shall be dedicated to the mandatory homeowners association or public improvement district at time of final platting and shall measure no less than 10 feet in depth.

8.9.3.4. ***Upgraded Residential Fencing across the Street from Front Yards.***

Side or rear yard residential fences constructed after May 20, 2003 and not subject to the requirements of Appendix W that are located across a street from a front yard condition shall be constructed as a uniform fence to Type 3 standards with cement fiberboard panels or planks, or with an approved

8-43

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

equivalent material, as described in [Section 8.9.3](#). Such fences shall be constructed such that stringers are not visible along the public street and shall be maintained by a mandatory property-owners association and/or a public improvement district ("PID") as required by [Section 8.7.1](#).

8.9.4 Required Screening Regulations for Multi-Family Development.

All multi-family development shall provide a screening fence in accordance with the following provisions.

- A. All multi-family development shall be required to erect a "Type 1" fence on property lines adjacent to any property which is zoned for single-family detached, single family attached or single-family townhome residential uses.
- B. All multi-family development shall be required to erect a "Type 3" fence on property lines adjacent to any other use except as provided in paragraph "A" above.
- C. All multi-family development shall be required to erect a "Type 2" fence adjacent to street right-of-way.

8.9.5 Non-Residential Screening.

All non-residential development shall provide a screening fence in accordance with the following provisions.

- A. All non-residential development, except for schools and day care centers, shall be required to erect a "Type 1" fence on property lines adjacent to any property which is zoned for single family detached, single family attached, two-family, and multi-family residential uses.
- B. All schools and day care centers shall be required to erect a "Type 3" fence on property lines adjacent to any property, which is zoned for single-family detached, single-family attached or two-family residential uses.
- C. Religious institutions shall be required to erect a "Type 2" fence along all property lines adjacent to any property, which is zoned for single-family detached, single-family attached or two-family residential uses.

8.9.6 Required Screening Regulations for Outside Storage.

All outside storage shall require a screening fence in accordance with the following provisions.

- A. All outside storage shall be required to be screened with a "Type 1" fence on any property line adjacent to any property which is zoned for single family detached,

8-44

ARTICLE 8: LANDSCAPE AND SCREENING

single family attached, two-family, and multi-family residential uses or for any outside storage area within 40 feet of street right-of-way line. All screening fences for outside storage must be setback a minimum of 25 feet from any street right-of-way line.

- B. All outside storage shall be required to be screened with a "Type 3" fence on property lines adjacent to any other use except as provided in paragraph "A" above.

8.9.7 Other Screening Requirements.

8.9.7.1. *Mechanical and Electrical Equipment.*

All non-residential building mechanical and electrical equipment other than utility service and equipment, located adjacent to the building, thoroughfare or a residentially zoned area shall be screened from view. Rooftop equipment shall be concealed from eye-level public view from all areas of a public street right-of-way and from eye level public view of any residentially zoned property. Roof mounted equipment shall be screened with a 36 inch parapet of architecturally compatible material similar to that used on the main building. Sufficient clearance shall be provided and maintained between the equipment and the screening to provide adequate access for maintenance and ventilation. No roof-mounted equipment shall be within three feet of the roof perimeter.

Continue on Next Page ...

ARTICLE 8: LANDSCAPE AND SCREENING

8.9.7.2. Refuse

Areas reserved for refuse storage shall be screened by a solid non-transparent masonry wall similar in material to the main structure and shall have a screening gate, which shall remain closed except when being serviced. Recycling and dumpster areas shall be located no closer than 20 feet to an adjacent residentially zoned property and shall not be located within any required building setback along a street right-of-way. The screening gate side shall be concealed from eye-level public view from all areas of a public street right-of-way and from eye level public view of any residentially zoned property. Said screening fence shall be a minimum of six feet in height (see Appendix C for more detail).

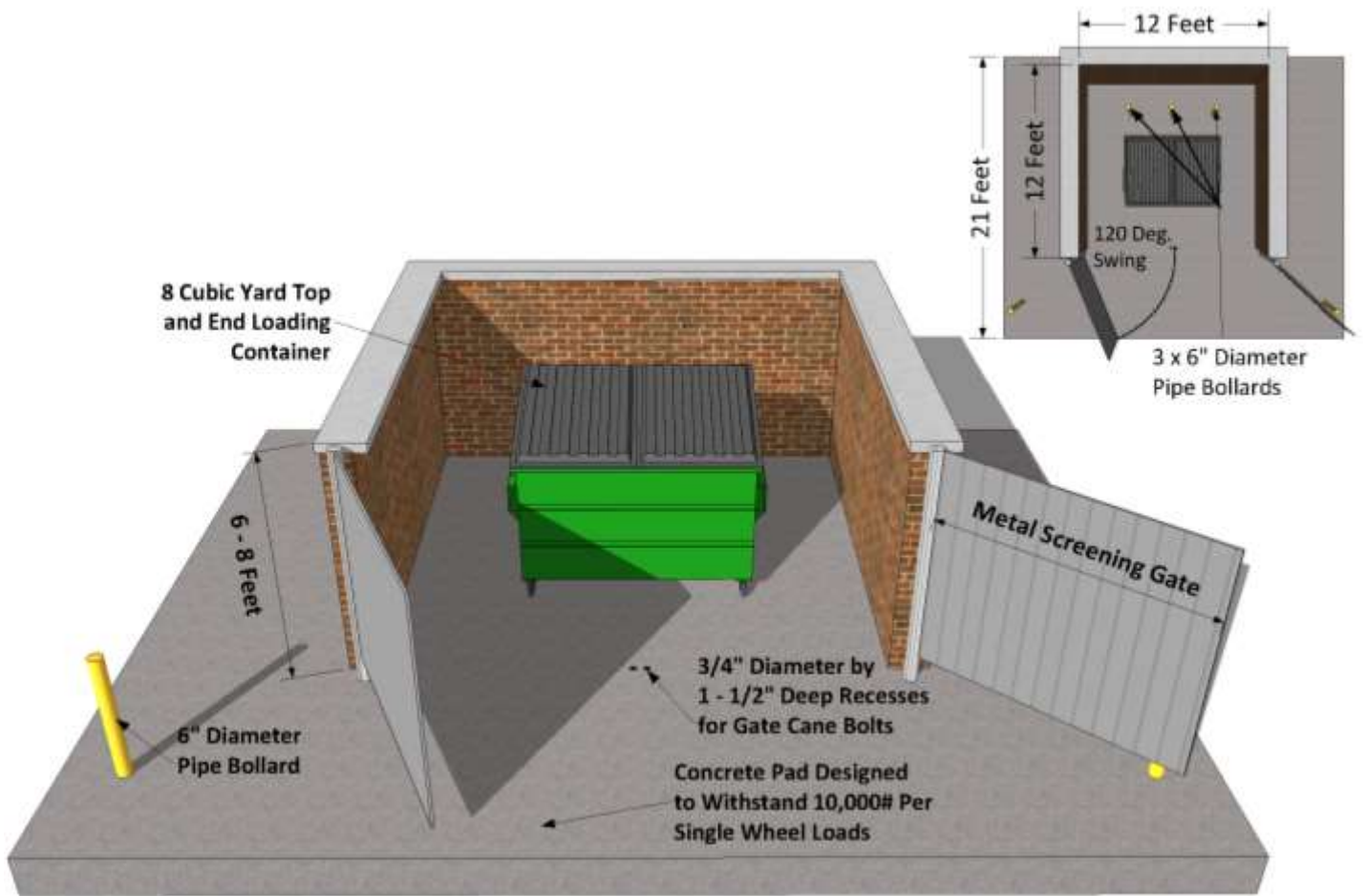


Figure 5: Dumpster Screening Enclosure Detail

8-46

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

SECTION 10 – FENCING

8.10 Fencing.



Type 1: Masonry Construction



Type 2: Wrought Iron with Masonry Columns

8.10.1 Type 1 Screening Fence Materials and Construction (Masonry).

Where a "Type 1" screening fence is required, the screening fence shall be a solid masonry wall, a minimum six feet high, unless an alternate design is authorized in accordance with the exception procedures of [Section 8.9.6](#) detailed below. Such screening shall be located on private property, adjacent to the common property line. The standard "Type 1" screening fence shall be constructed with the following standards:

- A. Said fence shall be a minimum of six feet in height, and shall have concrete mowing strips installed under the entire length of the wall with a minimum of six inches of the strip exposed on the side of the wall adjacent to a public right-of-way. The mowing strips shall be constructed with a minimum four-inch thick reinforced concrete. The mowing strip shall be flush with finished grade and not interfere with natural drainage.
- B. All masonry construction shall be kiln-fired brick of natural colors, either double wall brick or thin wall brick, with a mortar bond finish on both sides, in earth tone colors achieved through color additives. A reinforced concrete wall shall be allowed as a private screening wall fence, but shall not be allowed to face on a collector or arterial thoroughfare.
- C. Decorative stone or masonry columns or pilasters are required at an approximate maximum distance of 50-foot centers situated on lot corners.
- D. The use of a rowlock brick, cast stone or similar features shall be utilized as a cap at all walls, columns and pilasters along with other design elements to articulate the top of the wall.

8-47

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- E. Bottom of masonry wall panels suspended above the grade footing between columns or pilasters are to be supported by hot dipped galvanized continuous steel angle of sufficient dimension to support the wall panel. Tension cables or straps are not allowed as a supporting member.
- F. The required fence for non-residential uses shall be constructed of brick masonry, concrete panels, or architectural concrete masonry units for any portion of a fence adjacent to a residential zoning, adjacent to a street, or visible from and within 200 feet of a public street. The minimum height of a required screening fence shall be six feet. All other required screening fences must be of like materials or be the "standard screening fence." Standard fencing materials include masonry, wood, wrought iron type, vinyl-PVC, split rail, brick, and stone.

8.10.2 Type 2 Screening Fence Materials and Construction (Wrought iron type with masonry columns).

Where a "Type 2" screening fence is allowed, the screening fence shall be a wrought iron fence with masonry columns a maximum of 24 feet on center, unless an alternate design is authorized in accordance with the exception procedures of [Section 8.9.6](#) detailed below. Such screening shall be located on private property, adjacent to the common property line. The standard "Type 2" screening fence shall be constructed with the following standards:

- A. Said fence shall be a minimum of six feet in height, and shall have concrete mowing strips installed under the entire length of the wall with a minimum of six inches of the strip exposed on the side of the wall adjacent to a public right-of-way. The mowing strips shall be constructed with a minimum four-inch thick reinforced concrete. The mowing strip shall be flush with finished grade and not interfere with natural drainage.
- B. All masonry construction shall be kiln-fired brick of natural colors, or split face concrete masonry units (CMUs), or other CMU of appropriate texture, in earth tone color achieved through color additives.

ARTICLE 8: LANDSCAPE AND SCREENING



Type 3: Cement Fiberboard or Wood



Type 4: Wood without a Mowing Strip

8.10.3 Type 3 Screening Fence Materials and Construction (Cement fiberboard or wood).

Where a "Type 3" screening fence is required, the screening shall be a solid cement fiberboard wall or a wood screening fence, a minimum six feet high, unless an alternate design is authorized in accordance with the exception procedures of [Section 8.9.6](#) detailed below. Such screening shall be located on the subject property, adjacent to the common property line. The standard "Type 3" screening fence shall be constructed with the following standards (*reference [Appendix C](#) for exhibit of Standard Screening Fence*):

- A. Said fence shall be a minimum of six feet in height, and shall have a minimum of six-inch wide concrete mowing strips installed under the entire length. The mowing strips shall be constructed with a minimum four-inch thick reinforced concrete. The mowing strip shall be flush with finished grade and not interfere with natural drainage.
- B. All vertical posts shall be two and three eighths (2-3/8) inch minimum outside diameter standard pipe gauge, or two and one half (2-1/2) inch square by one-eighth (1/8) inch wall gauge galvanized steel.
- C. All wood materials shall be decay resistant, such as redwood, cedar or wolmanized pine exterior grade.
- D. Nail the vertical slats to three horizontal bracing stringers (bottom), middle, and top nailer boards) running from vertical post to post. The size of the stringers shall be no less than two inch by three inch.
- E. All nails or fasteners shall be of non-rusting, non-corrosive metal such as hot dipped galvanized steel. All nails or fasteners shall be of the type (such as screw shank, ring shank, or divergent point staples) that when properly driven, will not work free due to wind, vibration, or shrinkage of members.

8-49

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- F. All materials shall be securely fastened, vertical boards to horizontal stringers, stringers to vertical posts, top rail, to ensure an ongoing attractive appearance and safe condition, free from rust, rot, vandalism, and other sources of decay.
- G. The attached sketch indicates basic dimensional requirements and types of materials to be used. Standard and customary fence construction practices are required. (see [Appendix C](#))
- H. When a "Type 3" screening fence runs parallel and adjacent to an alley, two additional stringers (bottom and middle) shall be required to be placed on the opposite side of the three required stringers to stabilize and add rigidity.
- I. All "Type 3" fences shall be constructed such that the stringers are not visible along public right-of-way or public park facility (stringers will be on the inside, facing inward to the private lots, of all required fences).
- J. All "Type 3" fences running perpendicular to and being visible from a public street, and that face a vacant lot greater than one acre in size that has frontage on same public street, shall be constructed such that stringers are not visible along the public street or vacant lot (stringers will be on the inside, facing inward to the private lots, of all required fences).

8.10.4 Type 4 Screening Fence Materials and Construction (Wood without mowing strip).

Where a "Type 4" screening fence is required, the screening shall be a wood screening fence, a minimum six feet high, unless an alternate design is authorized in accordance with the exception procedures of [Section 8.9.6](#) detailed below. Such screening shall be located on the subject property, adjacent to the common property line. The standard "Type 4" screening fence shall be constructed with the following standards:

- A. Said fence shall be a minimum of six feet in height.
- B. All vertical posts shall be two and three eighths (2-3/8) inch minimum outside diameter standard pipe gauge, or two and one half (2-1/2) inch square by one-eighth (1/8) inch wall gauge galvanized steel.
- C. All wood materials shall be decay resistant, such as redwood, cedar or wolmanized pine exterior grade.
- D. Nail the vertical slats to three horizontal bracing stringers (bottom), middle, and top nailer boards) running from vertical post to post. The size of the stringers shall be no less than two inch by three inch.

8-50

ARTICLE 8: LANDSCAPE AND SCREENING

- E. All nails or fasteners shall be of non-rusting, non-corrosive metal such as hot dipped galvanized steel. All nails or fasteners shall be of the type (such as screw shank, ring shank, or divergent point staples) that when properly driven, will not work free due to wind, vibration, or shrinkage of members.
- F. All materials shall be securely fastened, vertical boards to horizontal stringers, stringers to vertical posts, top rail, to ensure an ongoing attractive appearance and safe condition, free from rust, rot, vandalism, and other sources of decay.
- G. The attached sketch indicates basic dimensional requirements and types of materials to be used. Standard and customary fence construction practices are required. (see [Appendix C](#))
- H. All "Type 4" fences shall be constructed such that the stringers are not visible along public street or public park facility (stringers will be on the inside, facing inward to the private lots, of all required fences).
- I. All "Type 4" fences running perpendicular to and being visible from a public street, and that face a vacant lot greater than one-acre in size that has frontage on same public street, shall be constructed such that stringers are not visible along the public street or vacant lot (stringers will be on the inside, facing inward to the private lots, of all required fences).

8.10.5 Nonconforming Fences.

In the event of casualty, in which no more than 60% of the length of a fence is damaged or destroyed, the structure(s) may be rebuilt. Non-conforming fences must be rebuilt to current standards if more than 60% of the fence's length is damaged.

Continue to Next Page

ARTICLE 8: LANDSCAPE AND SCREENING

Chart B: Required Fencing by Use

Fence Type	Materials	Where Required
Type 1	Brick, Stone, or Masonry with Mortar Bond Finish on Both Sides	SF: Rear lots adjacent to arterials and collectors. MF: Adjacent to a SF residential property line. NR: Adjacent to a residential property line and for outside storage adjacent to, and within 40 ft. of a street right-of-way. Industrial: Adjacent to any use not zoned LI or HI or a Planned Development not intended for LI or HI uses (see Appendix X).
Type 2	Wrought Iron with Brick Columns	SF: May be used adjacent to collectors and arterials where the view beyond the fence is of a landscaped front or side yard and there is no view of a rear yard. MF: Adjacent to a street right-of-way line.
Type 3	Cement Fiberboard, Wood with Mow Strip, Vinyl PVC	NR: All Outside storage areas except as otherwise required above. SF: Residential Fences across the street from front yards.
Type 4	Wood Fence, Metal Posts Vinyl PVC	SF: For existing residential lots which back up to arterials or collectors and no existing standard fence has been established.

Where, SF: Single Family; MF: Multi Family; NR: Non Residential

Note: Where a specific type of fence has been established (a standard fence on more than 80% of the lots in that subdivision adjacent to that street) any fence must be replaced or repaired with a fence built to the same standards as the established fence.

[Required Fences]

8.10.6 Exceptions to Required Fences.

- 8.10.6.1. An exception to the screening fence requirement may be granted by the City Council based on a recommendation from the Planning and Zoning Commission. One or more of the following conditions must be present or apply for consideration of an exception:
 - A. Topographical variations that would preclude a normal installation, or act as a screening mechanism. A topographical variation may serve as a screening device if the zoning district requiring the screening fence is separated from the adjoining use by a 30% slope or greater; as long as the elevation between the two uses is at least six feet, (*property requiring the screening fence is at the higher elevation*).
 - B. The land is located in the flood plain.
 - C. An existing fence is in place on the applicant's property that is determined as sufficient and is structurally sound.

8-52

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- D. Vegetation exists which is at least six feet high and non-transparent year-round.
- E. An exception for chain link fences or wood fences may be granted upon notification to property owners, which are adjacent to, or directly across the street from said fence.
- F. An exception to the screening fence requirements for single-family development adjacent to designated arterials and collectors may be granted for an alternative fence upon submittal of an approved plan for maintenance of said fence.
- G. An exception to the screening fence requirements for public recreation facilities or public schools may be granted upon notification to property owners, which are adjacent to the fence.
- H. An exception to the screening fence requirements for churches, private recreation facilities, schools or day care centers may be granted upon notification to property owners which are adjacent to the fence and upon submittal of a petition signed by greater than 50% of the owners of the linear footage of adjacent land and signed by greater than 50% of the owners of parcels of adjacent land.

8.10.6.2. Screening fence requirements may be waived by the Development Review Committee, or his/her designee, for public schools for portions of a school site, which are not within 50 feet of a building or parking area.

8.10.7 Non-Required Residential Fences.

No fence in a single family detached, single family attached and single family townhome residential zoned area that is erected along the front street property line or between a required front yard setback of the main building and the front street property, line shall be erected higher than 36 inches. On corner lots no fence in a residential zoned area that is erected along the side street property line shall be erected higher than 36 inches for a distance of 50 feet as measured from the front street curb line. This requirement does not apply in the following situations:

- A. When the fence is transparent, it may be 48 inches in height. Transparent fencing materials include wrought iron, chain link, rail, and picket fences where at least 50% of the fence profile is transparent, but subject to the prohibition listed in [Section 8.9.7.3](#) of this Article.

8-53

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- B. The City Council may approve solid fences greater than 36 inches in height along street frontages adjacent to Multi-Family developments through submittal and approval of a site plan in accordance with **Article 16, "Site Plan Approval"** of this Unified Development Code.

8.10.7.1 No fence in a residential zoned area located in any other area above of the property shall be erected higher than eight feet. The fences located on interior lot lines may be graduated in height along the side lot lines from the maximum height of eight feet, on the highest grade along the property line at the front building line as required by this ordinance, to the maximum height of 36 inches along the front street property line. This requirement does not apply in the following situations:

- A. When the fence is erected to enclose property that is in acreage and used for enclosing animals or agriculture. No fence, however, shall be erected higher than eight feet.
- B. Fences erected by the City or utility companies to enclose an allowable non-residential use.

8.10.7.2 Residential fences shall be composed of materials recognized as standard, residential grade fencing material unless approval of an exception for use of an alternative fencing material has been obtained under Section 8.11.1 of this Article. However, ~~m~~materials used for fencing, such as corrugated metal, sheet metal, or corrugated fiberglass, are prohibited and shall not be used in the construction of a residential fence.

8.10.8 Non-Required Non-Residential & Multi Family Fences

8.10.8.1 Fences in non-residential or multi-family zoned areas shall be transparent at the minimum required building setback lines adjacent to streets. Transparent fencing materials include wrought iron style fences and chain link fences where at least 50% of the fence profile is transparent.

8.10.8.2 All non-required non-transparent fences must meet the screening fence requirements stipulated in **Section 10** of this Article.

8.10.8.3 Fences in the required building setbacks adjacent to designated arterials and collectors must be of a wrought iron type design style. Fences located in Light Industrial (LI) or Heavy Industrial (HI) zoned districts may install a black vinyl chain link fence in lieu of a wrought

8-54

GRAND
PRAIRIE

ARTICLE 8: LANDSCAPE AND SCREENING

iron type fence (see **Appendix V, “Fence Detail,”** of the Unified Development Code for additional requirements for this substitution).

8.10.8.4 No provision contained herein shall alter any provision, which requires any business to have a screening fence.

8.10.8.5 No fence likely to endanger the health and safety of the public shall be located in or adjacent to a residential area. Public utilities shall be exempted.

8.10.8.6 Non-Residential fences shall be composed of materials recognized as standard, residential grade fencing material and shall not be constructed with corrugated metal, sheet metal, or corrugated fiberglass. R-Panel fences are permitted in the Light Industrial-Limited Standards (LI-LS) District only (standards for a metal fence can be found Appendix V, “Fence Detail” of the Unified Development Code).

8.10.9 Visibility Triangle

On corner lots, no fence shall be constructed within a 30-foot visibility triangle or obstruct a minimum visibility line as established by the Director of Transportation Services for an intersection. The right angle of the visibility triangle shall be established at the point where the curb lines would intersect in the street if the curbs were extended beyond the curb return radius.

8.10.10 Electrified Fences

8.10.10.1 Applicability

Electrified fences are permissible in the Light Industrial (LI) District and Heavy Industrial (HI) Districts only.

8.10.10.2 Exceptions

1. In all other zoning districts, the installation and maintenance of an electrified fence is permissible for fences containing less than two energized strands and having a minimum height of less than twenty four (24) inches measured from grade to the energized strand, provided that the provisions of Section 8.10.10.6 of Article 8 are followed.
2. Electrified fences installed for the keeping of livestock on agriculturally zoned property as defined in the Unified Development Code, provided that the provisions of Section 8.10.10.6 of Article 8 are followed.

8.10.10.3 Permit & Plan Submittal.

8-55



ARTICLE 8: LANDSCAPE AND SCREENING

A building permit is required prior to the installation, repair, and alteration of electrified fences. A separate permit is required for the installation of a protective barrier. Complete applications for electrified fences shall include the following:

1. Site plan showing the location of the protective barrier and the electrified fence on the property in relationship to property lines, walkways and exiting buildings.
2. Fence details showing both the electrified fence and protective barrier, including all gates.
3. Electrical details showing the equipment, wiring diagrams, grounding, and other information to ensure compliance with the Electrical Code.
4. Energizer Output Certification Form as prescribed in Section 8.10.10.7. of Article 8.

8.10.10.4 Location Restrictions.

Electrified fences shall not be installed at the following locations:

1. Within five (5) feet of a building exit.
2. Within thirty (30) feet of a hazardous material storage or handling areas.
3. On roof tops or within buildings.
4. All residential uses

8.10.10.5 Electrified Fence Height.

Electrified fences shall be restricted to a maximum height of two (2) feet above the height of the protective barrier.

8.10.10.6 Electrical Equipment Standards.

Electrical equipment, wiring, and grounding shall comply with the provisions of this Code and the following standards:

1. The energizer output shall comply with Section 22.108 of the International Electrotechnical Commission (IEC) 60335-2-76 Standard, as amended.
2. Energizers shall provide pulsed power.

8-56

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

3. AC current shall not be used to energize any electrified fence.
4. The energizer shall be powered by a DC battery not to exceed 12 volts. A trickle charger and solar panels may be used to recharge the battery but shall not directly energize the fence.
5. All ground system cables shall be properly insulated.
6. The electrified fence grounding system shall not be connected to any plumbing systems.
7. Each energizer shall be connected to its own ground system and shall not be connected to any other grounding system.

8.10.10.7 Energizer Output Certification.

The applicant shall sign a form provided by the City of Grand Prairie certifying that the electrified fence energizer output characteristics comply with Section 22.108 of the IEC 6335- 2-76 International Standard, as amended.

8.10.10.8 Protective Barrier.

The perimeter of the secure area shall be protected by an additional non-electrified fence meeting the following standards:

1. The protective barrier shall be a permanent fence or wall at least six (6) feet in height above the adjacent grade, subject to the limitations of the City of Grand Prairie Zoning Ordinance. A solid wall is required when the protective barrier fence is adjacent to all residential zoning.
2. Openings in the protective barrier shall not allow for the passage of a two (2) inch sphere. The maximum vertical clearance between grade and the bottom of the protective barrier shall be two (2) inches. **Exception:** At rolling gates, the maximum vertical clearance between grade and the bottom of the protective barrier shall be four (4) inches.
3. The protective barrier shall be separated from the electrified fence by a minimum of six (6) inches and a maximum of twelve (12) inches. **Exception:** Conductive stands installed at gates installed in protective barriers shall be separated from the gate by a maximum of twelve (12) inches.

8.10.10.9 Warning Signs.

8-57

ARTICLE 8: LANDSCAPE AND SCREENING

Electrified fences shall be clearly marked with warning signs. The warning signs shall be placed on the protective barrier at each entrance to the secure area and at intervals not to exceed thirty (30) feet along the entire perimeter of the fence line. Warning signs shall be located not less than five (5) feet above the adjacent walking surface.

8.10.10.10 Graphics.

Warning signs shall be printed on both sides in both English and Spanish with the following text: "WARNING ELECTRIC FENCE" and contain the international symbol for electrical shock hazard. Signs shall be reflective with a minimum two (2) inch letter height, minimum stroke of one-half (½) inch and have a contrasting background.

8.10.10.11 Knox Box or Key Switch.

A Grand Prairie Fire Department permitted and approved key switch shall be installed to provide secure access to the electrical power disconnect switch by public safety personnel. The key switch shall be located at the main entry point to the property in a location approved by the Fire Marshall.

8.10.10.12 Commercial Business Hours of Activation.

An electrified fence shall not be energized during the hours of normal business operation. However, where businesses are operating continuously on a twenty-four (24) hour basis the conductors of an electrified fence shall not be energized unless all authorized persons within or entering the secure area have been informed of the electrified fence location.

8.10.10.13 Alarm Registration.

In accordance with Section 17-63 of the Code of Ordinances, a Fire Alarm permit shall be secured prior to the operation of the security system.

SECTION 11 – FENCING EXCEPTIONS

8.11 Exceptions.

8.11.1 Exceptions for Alternative Fencing Materials in Residential Zoning Districts

- A. An exception to allow for an alternative fencing material in a residential zoning district may be administratively approved by the Chief Building Official or designee upon satisfaction of the following criteria:
- i. The fence material shall not be one of the materials prohibited for construction of residential fences under Section 8.10.7.2.

8-58

ARTICLE 8: LANDSCAPE AND SCREENING

- ii. The material shall be manufactured in a factory. The material must provide above-average lifespan and meet all building code requirements. The submission of a manufacturer specification sheet is required.
- iii. Visual depictions or elevations of construction shall be required for review of appearance prior to approval of the request. Examples of permitted alternative materials are shown in Exhibit 8 of this Article.
 - 1. If metal is proposed, the exterior must provide a durable finish. Material used for metal fences shall be anodized, baked, painted, or powder-coated at the factory.
 - 2. If precast masonry is proposed, the material shall simulate wood, stone, brick, or equivalent.
- iv. An alternative material, design or method of construction shall comply with the intent of the provisions of this code, and that the material, method, or work offered is, for the purpose intended, at least the equivalent of that prescribed in this ordinance in quality, strength, effectiveness, fire resistance, durability, and safety.
- v. If the Chief Building Official or designee determines that the proposed alternative fencing material does not meet the criteria of this Section or intent of this Code, the request may be appealed to the Zoning Board of Adjustments and Appeals for final determination.

8.11.2 Other Exceptions

- A. For all other e~~Exceptions~~ to the requirements of this Section for Non-Required fences not covered in Section 8.11.1, a request may be granted by the Zoning Board of Adjustments and Appeals upon satisfaction of the following criteria:
 - i. Proposed fence is primarily for security purposes, and
 - ii. Proposed fence is composed of materials recognized as normal fencing material including, but not limited to, chain link and wood, and does not include such materials as corrugated metal or fiberglass.

SECTION 12 – DIMENSIONAL GAP BETWEEN ABUTTING RESIDENTIAL FENCES

8.12 Dimensional Gap between Abutting Residential Fences.

Residential fences that abut an existing fence that is situated along the rear or interior side lot line of an adjoining lot shall be constructed within 12 inches of the existing fence.

- A. If a new residential fence is constructed adjacent to an existing fence that is situated along the rear or interior side lot line of an adjoining lot, the new residential fence shall not be constructed farther than six-inches away from the common property line.

8-59

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

- B. New abutting residential fences shall require a gate providing access into the dimensional gap between abutting fences if said new fence cannot be constructed within six-inches of the rear or interior side lot line of the adjoining lot.

SECTION 13 – FENCE MAINTENANCE

8.13 Fence Maintenance.

- 8.13.1 The area in front of any required screening wall or fence shall be maintained in a clean and orderly condition, free of weeds in excess of 12 inches in height, debris, and trash.
- 8.13.2 Any type of fence treatment shall be a minimum of six feet from said tree to allow access for maintenance on major thoroughfares behind the street tree buffer.
- 8.13.3 Required fence elements shall be maintained in a neat, orderly, and sound manner at all times. Fences shall be in an upright position with all panels, wall brick or other parts in place and firmly attached. Replacement of broken or missing parts shall occur on a prompt and regular basis.
- 8.13.4 All fences shall be maintained by the property owner or a duly established property owners association or Public Improvement District. Ultimately, the property owner shall be responsible for maintenance of the required improvements in a manner consistent with the original installation requirements.
- 8.13.5 For all new residential subdivisions with required fences platted after May 1, 1998, deed restrictions must be filed for lots with a required fence notifying the lot owner of these fence maintenance requirements and authorizing the City to perform the needed maintenance and place a lien against a property to reimburse the City for associated costs, after proper notice has been given to the property owner.
- 8.13.6 Uniform fence maintenance provisions required along collector and arterial thoroughfares.
 - A. All new and existing fences along collector and arterial thoroughfares shall be maintained to the minimum quality standards indicated below:
 - 1. Completed fences shall not lean at an angle from the vertical plane any greater than five degrees.

8-60

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

2. Damaged or destroyed fences must be replaced or repaired with a fence built to exact same design standards, colors and materials as the established fence. An established fence shall be a fence determined by the Development Review Committee as a uniform fence of consistent design and materials, which is in place on more than 80% of the lots in that subdivision on that block adjacent to a collector or arterial. Variations from original design and material standards may be approved by the Development Review Committee or appointed designee in those instances where the original fence materials are no longer available.
- B. New residential subdivisions with required fences platted after May 20, 2003 shall Require the establishment of a mandatory property-owners association and/or a public improvement district (PID) to enforce and fund maintenance requirements contained herein at the expense of the mandatory property-owners association of the development and/or PID for all uniform fences constructed along all single family detached, single family attached and two-family residential lots which back up to a collector and/or an arterial street.

SECTION 14 – GATED ENTRYWAY

8.14 Gated Entryway.

- 8.14.1 Gated entryways for single family detached and single family attached residential drive-ways shall be designed with a minimum gate setback of 20 feet from the current or future (which-ever is greater) street right-of-way line.
- 8.14.2 Gated entryways for multi-family residential developments shall be designed in accordance with [Article 11, “Performance Standards,” Section 11.13.1](#) of this Unified Development Code.
- 8.14.3 Gated entryways for non-residential development shall be designed with a minimum gate setback of 100 feet from the current or future (whichever is greater) street right-of-way line. Additional setback distance may be required by the Director of Transportation Services.

SECTION 15 – EXHIBITS AND RECOMMENDED VARIETIES

The City shall have the right to plant, prune, maintain and remove trees, plants and shrubs within the right-of-way lines of all streets, alleys, avenues, lanes, squares and public grounds, as may be necessary to ensure public safety or to preserve or enhance the symmetry and beauty of such public grounds.

8-61

ARTICLE 8: LANDSCAPE AND SCREENING

Item 30.

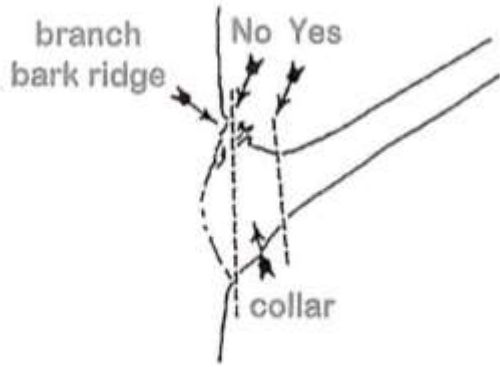
Continue to Next Page

8-62

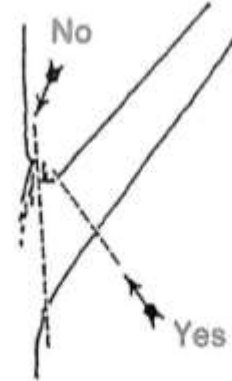
Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

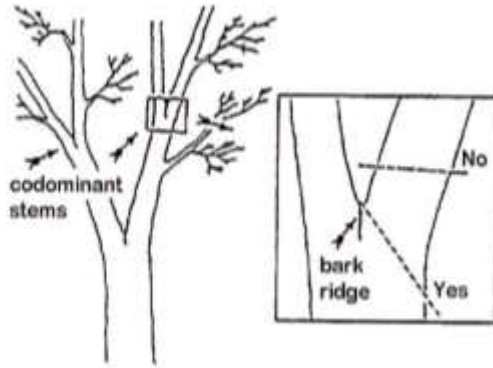
Exhibit 1: Tree Care



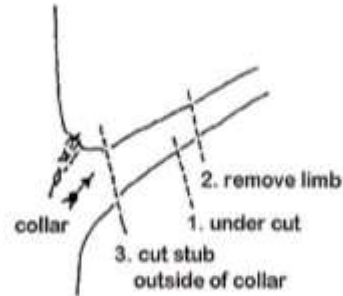
When removing a branch, always cut outside the branch bark ridge and collar. Do not make a flush cut.



Branches that do not have a distinct collar should be cut at a right angle to the branch outside the branch bark ridge.



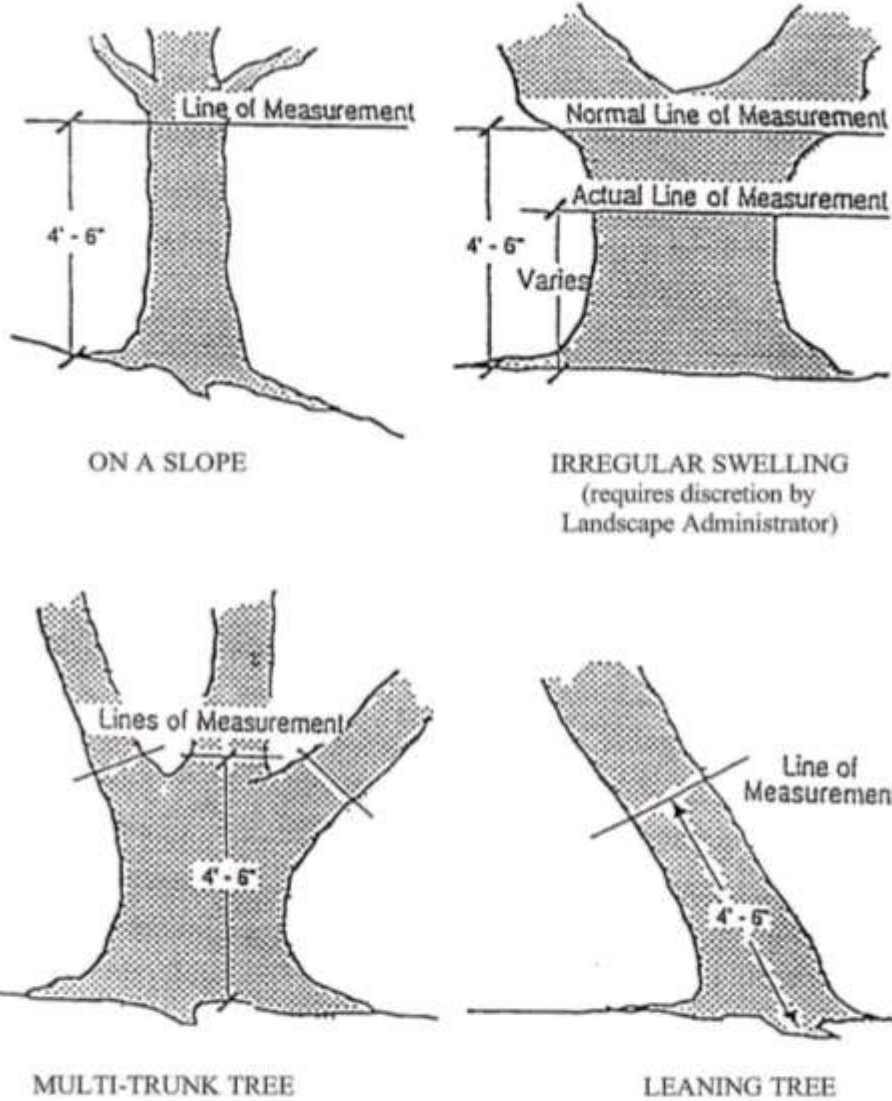
Trees may have codominant stems, as shown on the left. If a codominant stem must be removed, cut at an angle outside of the bark ridge as shown in the



When removing heavy limbs, first make an undercut several inches outside of the collar. Then remove limb by a second cut an inch or so

ARTICLE 8: LANDSCAPE AND SCREENING

Exhibit 2: Tree Measurement Methods



Source: COA.

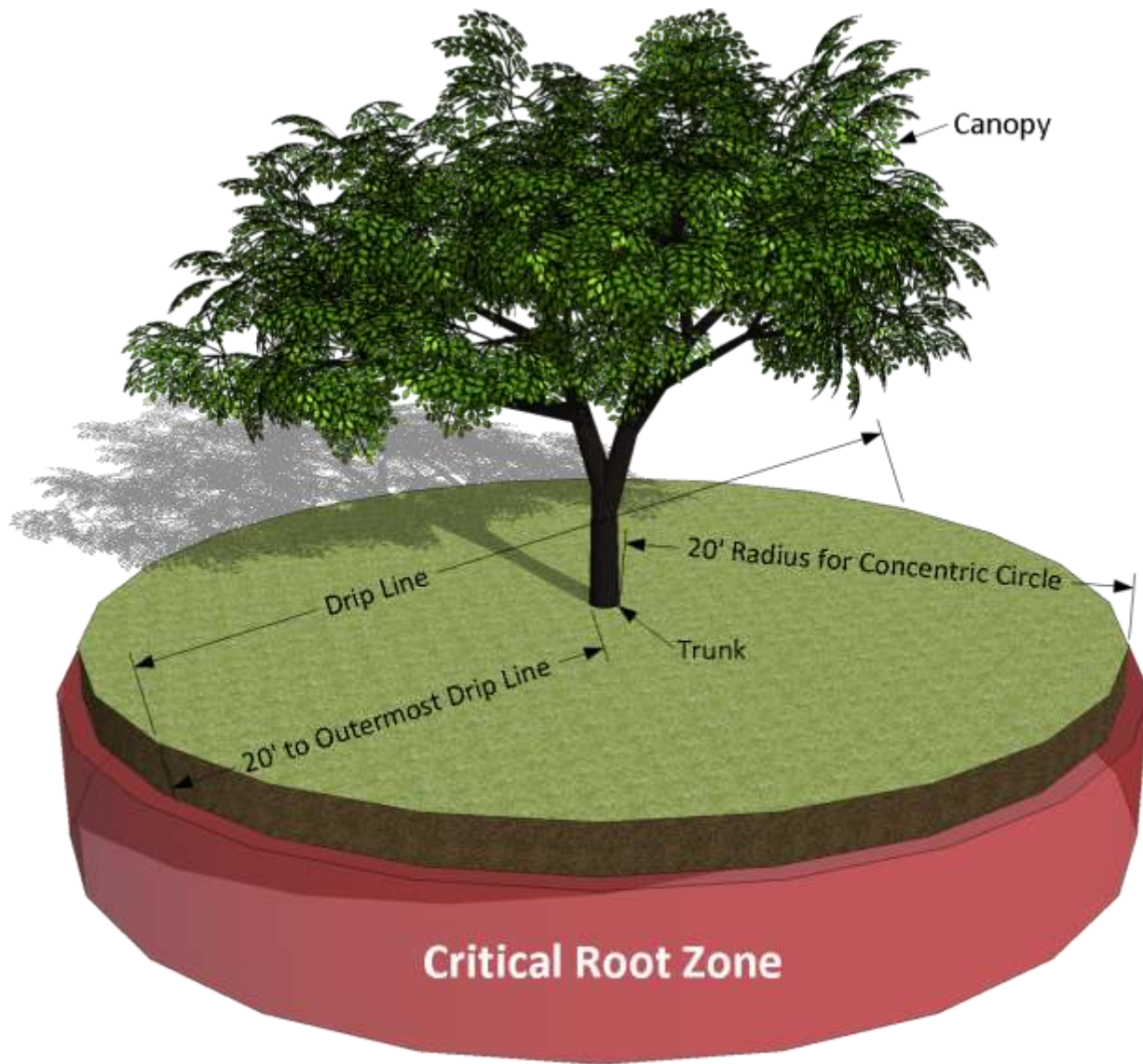
Diameter Measurement: The diameter of a tree shall be measured as shown above. The diameter of a multi-trunk tree shall be the total diameter of the largest trunk plus half the diameter of each additional trunk.

8-64

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Exhibit 3: Tree Critical Root Zone



Critical Root Zone (CRZ): The area of undisturbed natural soil around a tree defined by a concentric circle with a radius equal to the distance from the trunk to the outermost portion of the drip line.

Drip Line: A vertical line running through the outermost portion of the canopy of a tree and extending to the ground.

8-65

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Exhibit 4: Typical Divided Thoroughfare













Continue to Next Page

8-66

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Exhibit 5: Recommended Varieties (Large and Medium Trees)

Common Name	Botanical Name	Height x Width	Drought Tolerant		
Afghan Pine	<i>Pinus eldarica</i>	40'x20'	Yes		
American Smoketree	<i>Cotinus obovatus</i>	30'x20'	No		
Austrian Pine	<i>Pinus Nigra</i>	40'x25'	No		
Bald Cypress	<i>Taxodium distichum</i>	60'x30'	No		
Black Gum	<i>Nyssa sylvatica</i>	50'x25'	Yes		
Black Hickory	<i>Carya texana</i>	60'x50'	No		
Caddo Maple	<i>Acer barbarum</i>	60'x40'	No		
Canaert Juniper	<i>Juniperus virginiana</i>	30'x20'	No		
Chinese Pistache	<i>Pistachia chinensis</i>	40'x30'	Yes		
Deodar Cedar	<i>Cedrus deodara</i>	40'x30'	Yes		
Durand Oak	<i>Quercus durandii</i>		No		
Ky. Coffee Tree	<i>Gymnocladus dioicus</i>	75'x35'	Yes		
Lacebark Elm	<i>Ulmus parvifolia</i>	50'x35'	Yes		
Leyland Cypress	<i>Cupressus arizonica</i>	40'x15'	No		
Little-Leaf Linden	<i>Tilia cordata</i>	60'x40'	No		
Live Oaks ¹			Yes		
Sawtooth Oak	<i>Quercus acutissima</i>	60'x50'	No		
Sycamore	<i>Platanus occidentalis</i>	70'x60'	No		
White Ash	<i>Fraxinus americana</i>	30'x30'	No		
Willow Oak	<i>Quercus phellos</i>	60'x30'	No		
Bigtooth Maple	<i>Acer grandidentatum</i>	50'x30'	No		
Black Walnut	<i>Juglans nigra</i>	80'x60'	No		
Bur Oak	<i>Quercus macrocarpa</i>	60'x40'	Yes		
Cedar Elm	<i>Ulmus crassifolia</i>	50'x40'	Yes		
Chinquapin Oak	<i>Quercus muehlenbergii</i>	60'x40'	Yes		
Chittamwood	<i>Bumelia lanuginosa</i>	40'x30'	No		
Coastal Live Oak	<i>Quercus virginiana</i>	50'x50'	No		
Escpment Life Oak	<i>Quercus fusiformis</i>	40'x40'	Yes		
Gum Bumelaa	<i>Bumelia lanuginosa</i>		No		
Lacey Oak	<i>Quercus Laceyii</i>	50'x45'	Yes		
Nogolito	<i>Juglans microcarpa</i>	30'x20'	No		
Pecan	<i>Carya illinocensis</i>	80'x60'	Yes		
Post Oak	<i>Quercus stellata</i>	60'x45'	Yes		
Schumard (Red)Oak ¹	<i>Quercus shumardii</i>	70'x50'	Yes		
Slippery Elm	<i>Ulmus rubra</i>	70'x60'	No		
Sweet Gum	<i>Liquidamber styraciflora</i>	60'x40'	Yes		
Texas Ash	<i>Fraxinus texansis</i>	50'x40'	No		
Texas Buckeye	<i>Aesculus arguta</i>	30'x20'	No		
Texas Persimmon	<i>Diospyrus virginiana</i>	35'x20'	No		
Texas Red Oak	<i>Quercus texana</i>	30'x30'	Yes		
Texas Walnut	<i>Juglandaceae texana</i>		No		
Thornless Honey Locust	<i>Gleditsia triancanthos inermis</i>	80'x60	No		
Water Oak	<i>Quercus nigra</i>	50'x40'	Yes		
Western Soapberry	<i>Sapindus saponaris</i>	30'x20'	No		
Winged Elm	<i>Ulmus alata</i>	35'x40'	No		

Sycamore

Caddo Maple

Black Gum

Lacebark Elm

American Smoke Tree

Live Oak

Western Soapberry

Escarpment Live Oak

Bur Oak

Nogolito

8-67

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Exhibit 5: Recommended Varieties (Small Trees and Large Shrubs)

Common Name	Botanical Name	Height x Width	Drought Tolerant		
Buford Holly	<i>Ilex cornuta</i>	20'x15'	Yes		
Carolina Cherry Laurel	<i>Orybys carikubuaba</i>	25'x15'	Yes		
Crape Myrtle ^{1/2}	<i>Lagerstroemia indica</i>	15'x10'	Yes		
Flatwoods Plum	<i>Prunus umbellata</i>	15'x10'	Yes		
Flowering Crabapple	<i>Malus hybrida</i>	20'x20'	Yes		
Forest Pansy Redbud	<i>Cercis canadensis</i>	20'x15'	No		
Foster Holly #2	<i>Ilex x attenuata</i>	25'x15'	No		
Golden Rain Tree	<i>Koelreuteria paniculata</i>	25'x15'	Yes		
Japanese Black Pine	<i>Pinus thunbergii</i>	30'x30'	No		
Japanese Maple	<i>Acer palmatum</i>	15'x10'	No		
Lemon Bottlebrush	<i>Callistemon citrinus</i>	15'x15'	No		
Lettle-leaf Palo Verde	<i>Cercidium microphyllum</i>	12'x15'	No		
Nellie R. Stevens Holly	<i>Ilex aquifolium</i>	20'x15'	No		
Rocky Mtn. Juniper	<i>Juniperus scopulorum</i>	30'x15'	Yes		
Roemer Acacia	<i>Acacia roemeriana</i>	15'x15'	No		
Chaste Tree	<i>Vitex agnuscastus</i>	15'x20'	No		
Weeping Bottlebrush	<i>Callistemon viminalis</i>	20'x15'	No		
Weeping Holly	<i>Ilex vomitoria 'Pendula'</i>	12'x8'	No		
Ashe Juniper	<i>Juniperus ashei</i>	25'x15'	Yes		
Carolina Buckthorn	<i>Rhamnus caroliniana</i>	20'x15'	No		
Desert Willow	<i>Chilopsis linearis</i>	20'x15'	No		
Eve's Necklace Tree	<i>Sophora affinis</i>	20'x15'	Yes		
Flame-leaf Sumac	<i>Rhus lanceolata</i>	20'x15'	Yes		
Fragrant Ash	<i>Fraxinus cuspidata</i>	15'x10'	Yes		
Kidneywood	<i>Eysenhardtia polystachya</i>	20'x12'	Yes		
Mexican Buckeye	<i>Ungnadia speciosa</i>	20'x20'	Yes		
Mexican Plum	<i>Prunus mexicana</i>	25'x25'	Yes		
Netleaf Hackberry	<i>Celtis reticulate</i>	25'x25'	No		
Possumhaw Holly	<i>Ilex decidua</i>	15'x10'	No		
Redbud	<i>Cercis canadensis</i>	25'x20'	No		
Rusty Blackhaw	<i>Viburnum rufidulum</i>	25'x20'	Yes		
Scarlet Buckeye	<i>Aesculus pavia</i>	25'x20'	No		
Smooth Sumac	<i>Rhus glabra</i>	15'x10'	No		
Southern Wax Myrtle	<i>Myrica cerifera</i>	15'x10'	No		
Texas Madrone	<i>Arbutus xalapensis</i>	25'x20'	No		
TX Mountain Laurel	<i>Sophora secundiflora</i>	15'x10'	Yes		
Texas Persimmon	<i>Diospyros texana</i>	25'x20'	Yes		
Texas Pistache	<i>Pistacia texana</i>	20'x15'	Yes		
Wright Acacia	<i>Acacia wrightii</i>	15'x15'	No		
Yaupon Holly	<i>Ilex vomitoria</i>	VARIES	No		

Flatwoods Plum Rocky Mountain Juniper

Texas Persimmon Rusty Blackhaw

Eve's Necklace Tree Mexican Buckeye

Carolina Cherry Laurel

Crape Myrtle

8-68



ARTICLE 8: LANDSCAPE AND SCREENING

Exhibit 5: Recommended Varieties (Shrubs)

Common Name	Botanical Name	Height x Width	Drought Tolerant
Blue Vase Juniper	<i>Juniperus chinensis</i>	5'x4'	No
Bridalwreath Spirea	<i>Spirea prunifolia</i>	7'x5'	Yes
Carissa Holly	<i>Ilex cornuta 'Carissa'</i>	4'x5'	No
Cornpact Nandina	<i>Nandina domestica</i>	5'x3'	Yes
Cotoneaster	<i>Cotoneaster</i>	varies	No
Crimson Pygmy Barberry	<i>Berberis thunbergii</i>	2'x1.5'	Yes
Dwarf Burford Holly	<i>Ilex cornuta</i>	7'x4'	Yes
Dwarf Crape Myrtle	<i>Lagerstroemia indica</i>	6'x4'	Yes
Dwarf Flowering Quince	<i>Chaenomeles japonica</i>	3'x3'	No
Dwarf Horned Holly	<i>Ilex cornuta 'Rotunda'</i>	4'x4'	No
Dwarf Japanese Holly	<i>Ilex crenata 'Compacta'</i>	4'x4'	No
Dwarf Nandina	<i>Nandina domestica</i>	3'x3'	No
Dwarf Pfitzer Juniper	<i>Juniperus chinensis</i>	2'x6'	No
Dwarf Pomegranate	<i>Punica granatum</i>	5'x4'	No
Dwarf Yaupon Holly	<i>Ilex vinutirua 'Nana'</i>	4'x4'	Yes
Ebbing's Silverberry	<i>Eleagnus x ebbengei</i>	10'x5'	No
Edward Goucher Abelia	<i>Abelia grandiflora</i>	5'x5'	No
Firethorn	<i>Pyracantha</i>	varies	No
Flowering Quince	<i>Chaenomeles speciosa</i>	7'x5'	No
Forsythia	<i>Forsythia x intermedia</i>	6'x6'	No
Giant Liriope	<i>Liriope gigantea</i>	3'x3'	No
Glossy Abelia	<i>Abelia grandiflora</i>	6'x5'	Yes
Heller Japanese Holly	<i>Ilex crenata 'Helleri'</i>	3'x4'	No
Hypericum	<i>Hypericum henryii</i>	3'x3'	No
Japanese Acuba	<i>Acuba japonica</i>	4'x4'	No
Japanese Aralia	<i>Fatasia japonica</i>	10'x10'	No
Japanese Boxwood	<i>Buxus microphylla japonica</i>	10'x10'	Yes
Japanese Garden Juniper	<i>Juniperus procumbens</i>	2'x6'	No
Lantana	<i>Lantana</i>	varies	No
Lavender Cotton	<i>Santolina</i>	2'x3'	No
Leatherleaf Mahonia	<i>Mahonia bealei</i>	4'x3'	No
Nandina	<i>Nandina domestica</i>	varies	No
Needlepoint Holly	<i>Ilex cornuta</i>	5'x5'	No
Pfitzer Juniper	<i>Juniperus chinensis</i>	5'x10'	No
Prostrate abelia	<i>Abelia grandiflora</i>	2'x2'	No
Prostrate Crape Myrtle	<i>Lagerstroemia indica</i>	3'x3'	Yes
Purpleleaf Barberry	<i>Berberis thunbergii 'Atropurpurea'</i>	5'x4'	No
Pygmy Barberry	<i>Berberis thunbergii 'Chrimson Pygmy'</i>	2'x3'	No
Rosemary	<i>Rosmarinus officinalis 'Tuscan Blue'</i>	3'x4'	Yes
Salvia			No
Shore Juniper	<i>Juniperus conferta</i>	2'x4'	No
Texas Sage	<i>Leucophyllum frutescens</i>	Varies	Yes
Vanhoutte Spirea	<i>Spirea x vanhouttei</i>	6'x5'	Yes
Variegated Chinese Privet	<i>Ligustrum sinense 'Variegata'</i>	7'x7'	No
Wilson Holly	<i>Ilex cornuta 'Wilsonii'</i>	5'x5'	No
Wood Fern	<i>Thelypteris kunthii</i>	2'x2'	No
Agarita	<i>Mahonia trifoliata</i>	5'x2.5'	Yes
Beautyberry	<i>Callicarpa americana</i>	10'x6'	No
Buttonbush	<i>Cephalanthus occidentalis</i>	8'x6'	No
Coralberry	<i>Symphoricarpos orbiculatus</i>	2'x2'	No
Fragrant Sumac	<i>Rhus aromatica</i>	8'x6'	No
Roughleaf Dogwood	<i>Cornus drummondii</i>	6'x5'	No
White Honeysuckle	<i>Lonicera albiflora</i>	4'x4'	Yes



Wood Fern



Lantana



8-69

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Exhibit 5: Recommended Varieties (Ground Cover/Bedding Plants)



Common Name	Botanical Name	Drought Tolerant
Asiatic Jasmine	<i>Trachelospermum asiaticum</i>	Yes
Cast Iron Plant	<i>Apidistra elatior</i>	No
Creeping Juniper	<i>Juniperus horizontalis</i> (cultivars)	No
Dalia Greggii	<i>Dalea greggii</i>	No
Japanese Garden Juniper	<i>Juniperus procumbens</i> (cultivars)	No
	<i>Liriope</i> (cultivars)	No
	<i>Ophiopogon japonicus</i> (cultivars)	Yes
	<i>Vinca major & minor</i>	No
	<i>Juniperus conferta</i>	No
	<i>Lantana montevidensis</i>	No
Wintercreeper	<i>Euonymus fortunei</i>	No
Common Nerve	Botanical Name	No
	<i>Symphoricarpos orbiculatus</i>	Yes
	<i>Calyptocarpus vialus</i>	Yes
	<i>Campsis radicans</i>	Yes
	<i>Arthenocissus quinquefolia</i>	Yes
	<i>Cynodon dactylon</i>	No
Buffalo Grass	<i>Buchloe dactyloides</i>	No
Zoysia Grass	<i>Zoysia</i> spp.	No



Exhibit 5: Recommended Varieties (Ornamental Grasses)

Common Name	Botanical Name
Big Bluestem	<i>Andropogon gerardii</i>
Broomsedge Bluestem	<i>Andropogon virginicus</i>
Canada Wild Rye	<i>Elymus canadensis</i>
Dwarf Fountaingrass	<i>Pennisetum alopecuroides</i> 'Hamelin'
Eulalia	<i>Micanthus</i> spp.
Fountain Grass	<i>Pennisetum</i> spp.
Indian Grass	<i>Sorghastrum nutans</i>
Inland Sea Oats	<i>Chasmanthium latifolium</i>
Lemon Grass	<i>Cymbopogon citrates</i>
Lindheimer's Muhly	<i>Muhlenbergia lindheimeri</i>
Little Bluestem	<i>Schizachyrium scoparium</i>
Maiden Grass	<i>Miscanthus sinensis</i> 'Gracillimus'
Pampas Grass	<i>Cortaderia selloana</i>
Purple Fountain Grass	<i>Pennisetum setaceum</i> 'Rhubrum'
Purple Muhly	<i>Muhlenbergia filipes</i>
Reed Grass	<i>Calamagrostis</i> spp.
Seep Muhly	<i>Muhlenbergia reverchoni</i>
Sideoats Grama	<i>Bouteloua curtipendula</i>
Silver Bluestem	<i>Bothriochloa saccharoides</i>
Splitbeard Bluestem	<i>Andropogon ternaries</i>
Sugarcane Plumegrass	<i>Erianthus giganteus</i>
Switchgrass	<i>Panicum virgatum</i>
Variegated Japanese Silver Grass	<i>Miscanthus sinensis</i> 'Variegatus'
Zebra Grass	<i>Miscanthus sinensis</i> 'Zebrinus'



Indian Grass



Little Bluestem



Switch Grass



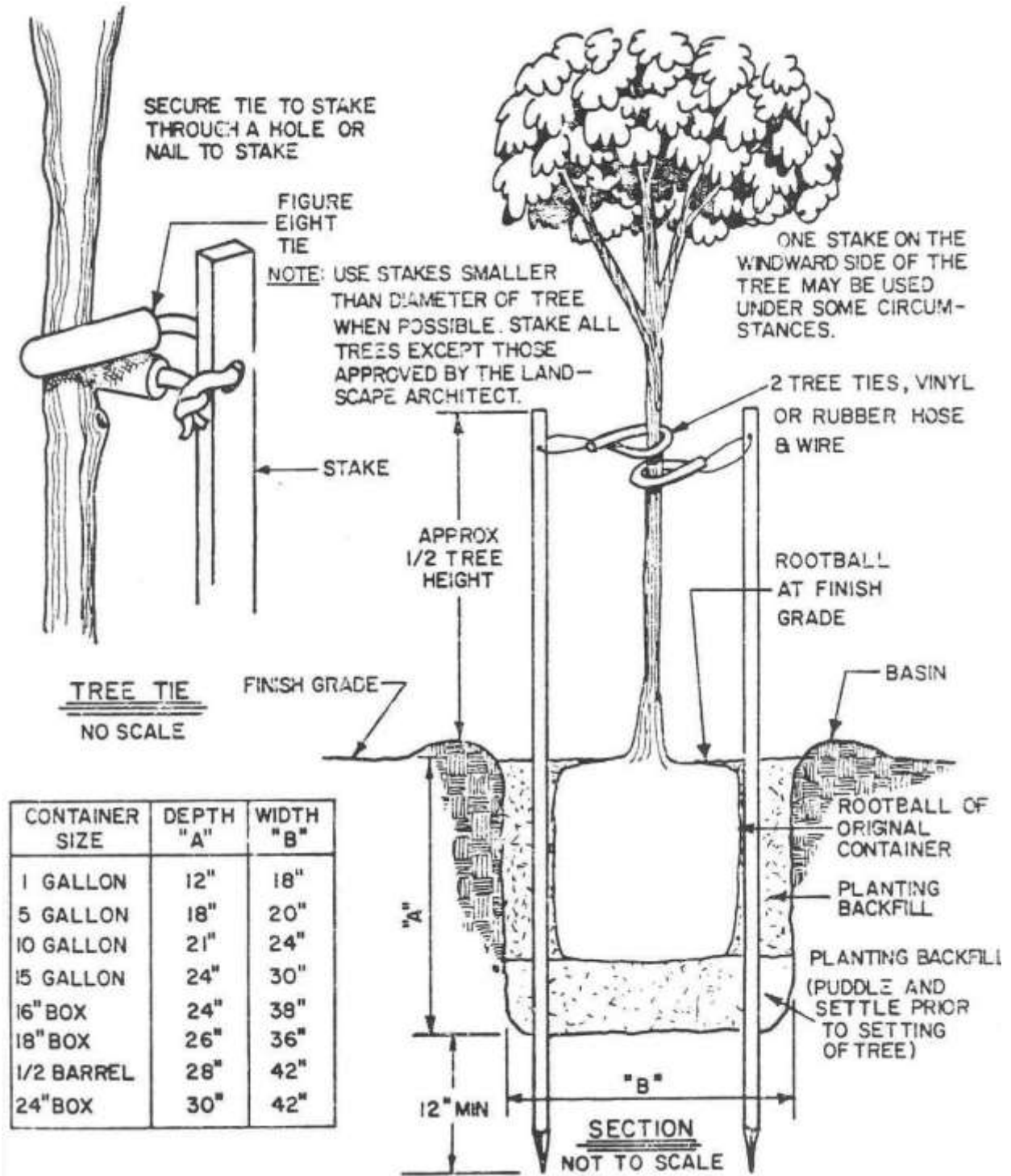
Silver Bluestem

8-70

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Exhibit 6: Tree Planting & Staking

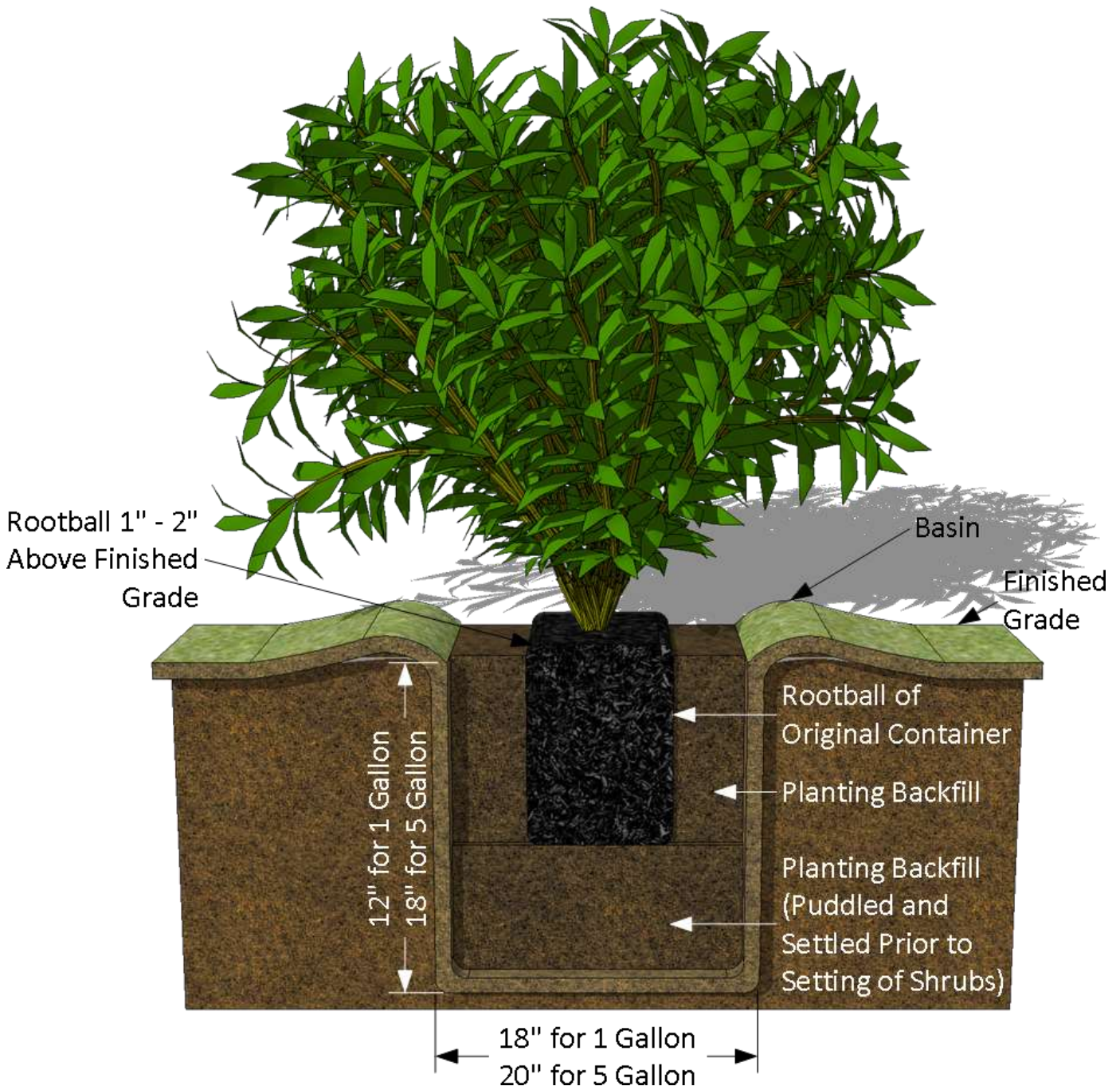


8-71

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Exhibit 7: Shrub Planting



8-72



ARTICLE 8: LANDSCAPE AND SCREENING

EXHIBIT 8

The following illustrations are intended to provide clarity to the text of Section 8.11. If there is a conflict between these illustrations and the requirements of 8.11, these illustrations shall take precedence.

Metal Fence Materials Allowed in Single-Family Residential Zoning Districts



8-73

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Precast Masonry Fence Materials Allowed in Single-Family Residential Zoning Districts



8-74

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

SECTION 16 – Tree Protection Standards

8.16 Purpose and Intent

8.16.1 General Standards

8.16.2 General Exemptions

8.16.3 Exempt Development Applications

8.16.4 Tree Removal Associated with Development

8.16.5 Tree Removal Not Associated with Development

8.16.6 Tree Protection Requirements

- A. Tree Protection Plan
- B. Tree Survey
- C. Mitigation Plan
- D. Implementation of Mitigation Plan
- E. Preservation of Large Trees

8.16.7 Tree Protection During Construction

8.16.8 Tree Removal Evaluation and Authorization

- A. Completeness of Application
- B. Decision on Exemption
- C. Decision
- D. Criteria for Approval
- E. Effect
- F. Occupancy Limitations
- G. Plan Verification and Enforcement

8.16.9 Establishment of Urban Forest Fund

- A. Account Established
- B. Fee Established
- C. Collection of Fees
- D. Use of Urban Forest Fund

8.16.10 Administration and Relief Measures

- A. Administration
- B. Relief Measures

8.16.11 Definitions

ARTICLE 8: LANDSCAPE AND SCREENING

8.16 Purpose and Intent

The general purpose of these standards is to preserve and protect a diminishing natural resource, specifically existing native and adapted site trees located in the City of Grand Prairie. Furthermore, these measures are to encourage the planting of trees to replace and supplement the City's urban forest during the development, construction, and redevelopment process.

Primarily, the focus of this Section is to protect mature trees eight (8) Caliper Inches and larger of desirable species which are defined as Protected Trees. Undesirable species are listed in the definitions section and defined as Unprotected Trees. The City Council recognizes that Protected Trees often must be removed during the development process and has defined mitigation measures to aid in the reforestation of the City over time. Specific purposes include the following:

- A. To promote tree and tree canopy preservation through site design standards and by controlling indiscriminate removal of Protected Trees,
- B. To contribute to the long-term viability of existing trees through their protection during land disturbing and land development activities; while balancing the rights of property owners with the overall interests of the community,
- C. To preserve trees as an important resource that enhances the quality of life and the general welfare of the city; by promoting its unique character as well as the physical, historical, and aesthetically pleasing environment,
- D. To enhance the community with the cleansing and cooling of air as well as creating an environment that enhances the physical and mental wellness of the citizens,
- E. To promote environmental elements that increase property values, reduce energy costs, reduce the number of pollutants entering streams, and provide elements that are crucial for a healthy local ecosystem,
- F. To encourage the preservation of environmentally sensitive areas, such as natural areas, floodplains, Riparian Buffers or Erosion Hazard Setbacks, and open spaces that protect the water quality ecosystem, and
- G. To recognize the economic value added to properties with trees when the tree canopy coverage is maintained and supplemented with new trees.

8.16.1 General Standards

A. *Applicability.*

The provisions of Section 16 – Tree Protection Standards apply as follows:

1. To any activity resulting in removal of any Protected Tree on any lot, parcel, or public land that is not exempt under *General exemptions, Section 8.16.2*;
2. To any plat application or site plan application that is not exempt under *Exempt development applications, Section 8.16.3*;
3. To any building or clearing grubbing/earthwork permit application that is not exempt under *Exempt development applications, Section 8.16.3*; and
4. This section applies to city property in the same manner as private property.

B. *Prohibitions.*

8-76

ARTICLE 8: LANDSCAPE AND SCREENING

1. No Protected Tree shall be removed unless:
 - a. The tree is located on property subject to *General exemption, Section 8.16.2* or *Exempt development applications, Section 8.16.3*; or
 - b. Removal of the tree has been authorized under an approved tree protection plan pursuant to *Tree protection requirements, Section 8.16.6*, and authorized by *Tree removal evaluation and authorization, Section 8.16.8*.
 - c. Removal has been authorized by the Tree Preservation Administrator.
2. Clear-cutting of land without City approvals associated with this section is prohibited.
3. Riparian Buffers or Erosion Hazard Setbacks (See Drainage Manual) shall be Non-disturbance areas unless authorized by the floodplain administrator.

8.16.2 General Exemptions

Exempt activities and conditions. The following are exempt from the requirements of Section 16. A Protected Tree may be removed for the following activities without any other obligation imposed by these regulations related to tree protection. The requirements specified in Section 16 shall not be required for and/or in the following circumstances:

A. Single-family and Duplex Units.

Removal of a Protected Tree by the owner or authorized agent of a finally platted lot or parcel occupied by a single-family or duplex dwelling unit, for which the City has authorized occupancy.

B. Pruning.

Pruning Protected Trees solely for the purpose of removing diseased limbs or to shape for aesthetic and safety purposes, according to the applicable provisions of the Texas Association of Nurserymen Grades and Standards. Pruning does not include tree topping a Protected Tree which is prohibited.

C. Homeowners.

An owner-occupied residence located in a residentially zoned district on five (5) acres or less is exempt from the tree protection and replacement requirements of this ordinance.

D. City or School Sports and Recreation Facilities.

Removal of Protected Trees within soccer, baseball, football, or other sports facilities such as golf courses along with hike and bike trails, which are open for public use.

E. Diseased, Damaged, or Dead Trees.

A diseased, damaged, or dead Protected Tree may be removed by the City or the owner of the land on which the tree is located upon contacting the Tree Preservation Administrator.

F. Emergency Conditions.

Trees posing an imminent or immediate threat to persons or property may be removed. However, photographs of the removal shall be submitted to the Tree Preservation Administrator within 72 hours of removal.

G. Public Health and Safety.

8-77

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

A Protected Tree that is in danger of falling, creates unsafe vision clearance or otherwise poses a hazard to the public health or safety may be removed by the city or the owner of the land on which the tree is located, when approved by the Tree Preservation Administrator.

H. Agricultural and Ranching Activities.

Removal of a Protected Tree within a vacant parcel of land at least five (5) acres in size in conjunction with farming or ranching activities, except activities conducted within an Erosion Hazard Setback or Riparian Buffer Zone, where the area shall be a Non-disturbance area unless authorized by the floodplain administrator.

I. Utility Service Interruption.

The tree has disrupted a public utility service due to tornado, flood, or another natural act. Removal shall be limited to the part of the tree which is found necessary to re-establish and maintain the utility service.

J. Utility Service Companies and Distribution/Transmission Lines.

Utility companies shall not be subject to the tree protection or replacement in this section when establishing distribution and transmission lines. Right-of-Way, easements, or similar public property maintained by utility companies shall not be subject to this section. The foregoing notwithstanding, new utility service shall be routed in a manner that prevents the removal of Protected Trees.

K. Utility and Drainage Easement Maintenance.

Utility service providers, including the City, or their contractors, agents, successors, and assigns shall have the right to maintain their facilities, through removal or trimming of Protected Trees located within lawfully designated easements or rights-of-way, to prevent any part of such trees from becoming a danger to public health, safety, and welfare by interfering with utility service. Where possible, trimming shall be done in a manner such that the aesthetics and health of the trees are not destroyed.

L. Public and Private Street Dedications.

Newly dedicated Right-of-Way necessary for the orderly and efficient development of property.

M. Plant or Tree Nursery.

Activities within a plant nursery related to trees grown on the premises solely for sale, retail, or wholesale.

N. Public Utilities and Infrastructure.

Removal of a Protected Tree by the City, another governmental entity or a public utility in any right-of-way or easement dedicated to and accepted by the City.

O. Pre-Existing Paved Surfaces.

Replacement or maintenance of any paved surface that existed on or before the effective date of these regulations and is located within the critical root zone of a Protected Tree.

P. Pre-Existing Public Contracts.

Removal of a Protected Tree on property for which a design contract has been awarded by the City Council on or before the effective date of these regulations.

8-78

8.16.3 Exempt Development Applications

ARTICLE 8: LANDSCAPE AND SCREENING

The following development applications are exempt:

A. *Zoning applications.*

Any application to change the zoning district classification of property or amend the regulations applicable to the district. Subsequent site plans or plat requests for the property may be subject to tree protection requirements.

B. *Filed or Vested Plat applications, not including replats.*

C. *Any plat application approved before or on the effective date of this section; or*

1. Any plat application pending for approval on such date, provided the application is subsequently approved; or
2. Any subsequent plat application in the same series as the approved or pending plat application.
3. For plat applications filed after the effective date of this section, the applicant must seek a determination from the Tree Preservation Administrator pursuant to procedures in *Tree removal evaluation and authorization, Section 8.16.8*, that the application is exempt based on prior approvals.

D. *Filed or Vested Site plan applications.*

Any application for a site plan required by the Unified Development Code (UDC) and approved before or on the effective date of this section or any site plan application pending approval on such date, provided the application is subsequently approved.

E. *Filed, Pending Approval, or Vested Building permit applications.*

1. Any application for a building permit approved before or on the effective date of this section; or
2. Any building permit application pending for approval on the effective date, provided the application is subsequently approved;
3. Any building permit application filed after the effective date of this section for a single-family or duplex residential use on a lot or tract in a subdivision subject to an exempt plat application; or
4. Any building permit application filed after the effective date of this section for a nonresidential or apartment use on land subject to an exempt site plan application; or
5. Any building permit application for land on which all Protected Trees have been removed pursuant to an approved Tree protection plan.
6. For building permit applications filed after the effective date of this section, or for applications for land on which all Protected Trees have been removed pursuant to an approved Tree protection plan, the applicant must seek a determination from the Tree Preservation Administrator pursuant to *Tree removal evaluation and authorization, Section 8.16.8*, that the application is exempt based on prior approvals.

F. *Vested applications.*

Any application for which it is determined that the applicant has a vested right to proceed under prior regulations, provided that the application or a prior approved application upon which the vesting claim is based remains in effect for such land.

8.16.4 Tree Removal Associated with Development

- A. Every development application submitted after the effective date of Section 16 shall include a tree protection plan that includes a tree survey or a certification

8-79

Grand
Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

that no trees are present on the lot(s) or parcel(s) being developed unless waived by the Tree Preservation Administrator in accordance with this section. The tree protection plan or certification shall be submitted as part of the landscape plan if required.

- B. If the development application does not require a landscape plan, the Tree Preservation Administrator may waive the requirement to submit a tree protection plan and/or tree survey provided that the applicant submits the location, size (in caliper inches), species of the Protected Trees to be removed, trees used for mitigation, trees used for landscape tree credit; and mitigation fee, if applicable.
- C. For phased development, the submitted tree survey and tree protection plan may be limited to only those areas where development activity will occur during the current phase provided trees are not removed from future phases.

8.16.5 Tree Removal Not Associated with Development

- A. Applicant seeks authorization to remove a Protected Tree for activities not associated with a development application approval. The following information or documents shall be submitted to the Tree Preservation Administrator:
 - B. Name and contact information for the applicant;
 - C. Address and location of the platted lot or tract where the subject tree removal is requested;
 - D. Identification of each Protected Tree to be removed (see *Tree survey, Section 8.16.6.B* for guidelines), description of the methods to be used to mitigate the removal of each Protected Tree (see *Mitigation plan, Section 8.16.6.C*).

8.16.6 Tree Protection Requirements

No plat, site plan or building permit application subject to this Section shall be determined to be complete unless accompanied by a proposed tree protection plan. The tree protection plan shall be submitted with the first application for the development, unless deferred in the following tree protection plan options. Plan shall be reviewed by the Tree Preservation Administrator for processing and decision in accordance with Tree removal evaluation and authorization, Section 8.16.7.

A tree protection plan is required for plats and site plans. A tree protection plan must be prepared and submitted for approval with the submission of the following unless waived:

- Plat applications that are non-exempt;
 - Site Plans that are non-exempt for non-residential, multi-family, and townhome uses; and
 - Building permit applications associated with non-exempt activities for which plat or site plan approval has not been obtained and is not required.
- A. *Tree protection plan shall contain:*
 1. *A Tree survey, Section, 8.16.6.B*
 2. *A Mitigation plan; Section, 8.16.6.C*
 3. *A table summarizing the site inventory of Protected Trees, Unprotected Tree species equal to or greater than eight (8) caliper inches in diameter which are being removed, trees being utilized for mitigation and/or landscaping tree credit, including the key number, determination of mitigation requirement, a*

8-80

ARTICLE 8: LANDSCAPE AND SCREENING

notation if mitigation is not applicable due to the location or tree condition (see Sample Tree Survey Table below);

4. The tree protection plan shall be incorporated into the required landscape plans associated with development applications;
5. Name and contact information for the applicant;
6. Name and location of the proposed subdivision or development for which the tree protection plan is being submitted;
7. Clearly indicate Protected Trees “to be removed” with a bold “X,” show proposed Pad sight(s) with 10-foot offset, exemptions such as Rights-of-Way, and easements, as well as property lines. Protected Trees “to remain” shall also be clearly noted on the Tree Survey and incorporated into the landscape plan if required;
8. Location and identification of each tree being used for mitigation or landscape tree credit purposes regardless of location. It shall include the species (common names), diameter, and key number;
9. Boundaries of Non-disturbance areas;
10. Include noted protection measures and/or illustrated details such as fencing for Non-disturbance (see SWPPP Standard Details). These areas shall be

ARTICLE 8: LANDSCAPE AND SCREENING

protected during construction according to *Tree protection during construction, Section 8.16.7;*

11. If applicable, include total Caliper Inches subject to mitigated fee payment into the *Urban forest fund, Section 8.16.9.*

<i>Sample Tree Survey Table</i>						
Tree #	DBH or Caliper Inches	Species	Protected Species Yes/No	Save Or Remove	Mitigation Status	Condition
200	9	Green Ash	No	Remove	N/A-Bldg	Fair
201	10	Cedar Elm	Yes	Remove	N/A-Bldg	Fair
202	7	Hackberry	No	Remove	N/A-Esmt	Good
203	7	Cedar Elm	Yes	Remove	-	Poor-
204	23	Cedar Elm	Yes	Remove	N/A	Dead
205	7	Hackberry	No	Remove	-	Fair
206	8	Bois d'arc	No	Remove	-	Fair
207	18	Cedar Elm	Yes	Save	-	Fair
208	24	Texas	Yes	Save	-	Fair
209	6	Pecan	Yes	Remove	-	Fair
210	3	Oak	Yes	Save	-	Good
211	4	Oak	Yes	Save	-	Good

<i>Sample Mitigation Table</i>				
Lot	Non-exempt Protected Trees to be Removed Caliper Inches	New Trees to be planted Caliper Inches	Existing Tree Credit Caliper Inches	Required Mitigation Fee Caliper Inches
Lot 1	24	18	6	0
Lot 2	131	90	0	41
Lot 3	50	24	12	14
Lot 4	24	12	12	0
Total	229	144	30	55

B. Tree survey.

1. The tree survey shall be prepared by a Qualified Professional. During the tree survey, each tree eight (8) caliper inches or greater in diameter, shall be tagged and assigned a unique key number. Each tree species shall be identified and noted in the summary tree survey table as illustrated unless located in a Non-disturbance area.

8-82

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

2. The tree survey shall be drawn at the same scale as the proposed development and identify the following:
 - a. Location and identification of each tree eight (8) Caliper Inches or greater not located in a Non-disturbance Area. It shall include the species (common names), diameter and key number;
 - b. The boundary of each individual Non-disturbance area, where vegetation will not be removed or otherwise disturbed during the development process, shall be clearly delineated and noted on the plan. The individual tree identification and measurements may be omitted in these areas if no landscape tree credit or mitigation is needed. These areas shall be protected during construction according to *Tree protection during construction, Section 8.16.7*;
 - c. Mitigation and landscape tree credit shall be credited in the following manner. Existing Protected Tree species three (3) Caliper Inches or greater may be used for mitigation and/or landscape tree credit at a 1 inch to 1 inch ratio;
 - d. Identification of each Protected Tree to be removed by key number; and
 - e. Total Caliper Inches of Protected Trees to be removed that are not exempt by this section and are to be mitigated.

3. Alternative survey method.

The Tree Preservation Administrator may authorize a tree survey method that differs from the one described in tree survey, above provided the method accurately indicates the number of trees, their species, and the total Caliper Inches of Protected Trees within the inventory area.

4. Measurements.

The following methods shall be used to measure the diameter of a tree (see illustration Section 8.15 Exhibit 2):

- a. Single-trunk tree. The diameter of a single-trunk tree shall be calculated by measuring the diameter of the trunk at breast height (four and one-half (4½) feet above grade).
- b. Multi-trunk tree. The diameter of a multi-trunk tree shall be calculated by combining the diameter of the largest stem or trunk with one-half (½) of the diameter of each additional stem or trunk, each measured at breast height (four and one-half (4½) feet above grade).

- C. *Mitigation plan.*

The removal of any Protected Tree, except trees in Rights-of-Way, easements, or pad sites authorized for removal under a tree protection plan, shall be fully mitigated in accordance with one or more of the following methods. The applicant may elect among options one through three, or a combination of such options. Tree Preservation Administrator approval is required for option four. The mitigation plan shall include a detailed description of the methods proposed for mitigating removal of Protected Trees.

ARTICLE 8: LANDSCAPE AND SCREENING

1. Transplanting Protected Trees. This method is reserved for small trees and replacement is required if the tree dies within two years of being transplanted.
2. Planting new trees at approved locations that replace Protected Trees to be removed with equivalent Caliper Inches.
3. Paying the cash equivalent (mitigation fee) of the number of Caliper Inches required to replace the Protected Tree(s) to be removed into the reforestation fund ("urban forest fund"), that will be used by the City to plant trees in public parks or on City-owned property.
4. The preservation of smaller, more desirable trees, as described in the following *Implementation of mitigation plan*, upon approval of the Tree Preservation Administrator.

D. *Implementation of mitigation plan*

1. Planted, Transplanted, and Existing Landscape tree credit. All trees planted to mitigate removal of Protected Trees, including transplanting of a Protected Tree, shall be located on original property, or another location mutually agreed between the developer and Tree Preservation Administrator.
2. Minimum tree size to be counted toward mitigation credit at a 1:1 ratio shall be three (3) Caliper Inches and species listed as a "large or medium tree" in *Exhibits and Recommended Varieties, Section 8.15, Exhibit 5*.
3. Required landscaping trees shall not be counted towards mitigation.
4. The species of trees planted shall be varied, with no one (1) species accounting for more than thirty (30) percent of the total trees planted.
5. Ongoing maintenance for the newly planted and replanted trees shall be guaranteed for a period not less than two (2) years following acceptance of improvements or issuance of a building permit. Maintenance typically shall require installation of permanent irrigation unless alternative measures are authorized by the Tree Preservation Administrator.

E. *Preservation of large trees.*

When authorized by the Tree Preservation Administrator, preservation of trees of an Unprotected Tree species may mitigate removal of a Protected Tree. The total Caliper Inches of such preserved trees shall meet or exceed the total Caliper Inches of the Protected Tree to be removed. Trees to be preserved shall be no smaller than three (3) Caliper Inches in diameter, shall be in healthy and thriving condition prior to construction and shall be included in the *Tree protection plan, Section 8.16.6.A*.

8.16.7 Tree Protection During Construction

A. *The subdivider or developer shall ensure that Protected Trees are preserved throughout the development process.*

B. *Non-disturbance areas.*

Each Non-disturbance area within the development site shall be fenced to ensure that the area will remain in a natural state. Fencing shall be adequate to prevent entry of vehicles or machinery, storage of materials or goods, or any other type of trespass that could harm the preserved area during the construction period, as determined by the Tree Preservation Administrator. Pedestrian access is permitted.

C. *Construction areas.*

8-84

GRAND
PRAIRIE

ARTICLE 8: LANDSCAPE AND SCREENING

The following measures shall be put into effect by the subdivider or developer to assure preservation of Protected Trees that are not to be removed during construction (see Stormwater Pollution Prevention Plan (SWPPP) Standard Details).

1. A four-foot plastic fencing, silt fencing, or other method approved by the Tree Preservation Administrator shall be installed around the drip line of all Protected Tree(s) prior to commencement of construction.
2. A construction entrance that avoids Protected Trees shall be established prior to commencement of construction.
3. Construction, placement of fill, excavation, storage of construction materials, vehicles, or machinery, cleaning of equipment, the disposal of waste materials, or other construction related activity is prohibited under the canopy or within the drip line of any Protected Tree, unless expressly authorized in writing by the Tree Preservation Administrator. Major changes of grade (i.e., six (6) inches or greater) within the canopy or drip line is prohibited. A tree shall be considered protected if a minimum of 75% of the critical root zone is maintained at undisturbed natural grade and no more than 25% of the canopy is removed due to building encroachment. When roots more than two (2) inches in diameter are to be cut off, they shall be cut with a medium tooth saw and covered with pruning compound within two (2) hours of initial exposure.
4. Trenching for utilities shall not be allowed within the critical root zone of existing trees that have been used to receive landscape tree credit, and boring under such trees may be required.
5. Attachments or wires shall not be attached to any Protected Tree. Cables, tree rods, and similar hardware installation that aid structural integrity of a Protected Tree are exempt from this provision, if approved in writing by the Tree Preservation Administrator.
6. Any trees removed shall be chipped and used for mulch on site or hauled off-site.

8.16.8 Tree Removal Evaluation and Authorization

A. *Completeness of application.*

The Tree Preservation Administrator shall review each tree protection plan for completeness in accordance with *Tree protection plan, Section 8.16.6.A*. If the tree protection plan is incomplete, any associated plat, site plan or building permit shall also be deemed incomplete.

B. *Decision on exemption claim.*

Exemptions shall be evaluated prior to submitting an application for a plat, site plan, or building permit application. The Tree Preservation Administrator shall evaluate exemption requests under *General exemptions, Section 8.16.2* or *Exempt development applications, Section 8.16.3*. The applicant shall receive the determination in writing. The applicant may appeal the Tree Preservation Administrator's decision in the manner provided in *Administration and relief measures, Section 8.16.10*.

C. *Decision.*

The Tree Preservation Administrator shall decide whether to approve, conditionally approve or deny a *Tree protection plan* submitted pursuant to Section 8.16.6.A in accordance with this section.

8-85

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

1. The tree protection plan shall be approved prior to final plat, site plan, building permit, or clearing grubbing/earthwork permit.
2. Denial of the tree protection plan is grounds for denial of the associated plat, site plan, building permit, or clearing grubbing/earthwork permit.

D. *Criteria for Approval.*

The tree protection plan shall be evaluated based on the following:

1. The tree survey correctly identifies each Protected Tree and/or Non-disturbance area on the development site;
2. Each Protected Tree has been appropriately tagged and included on the tree survey table;
3. The mitigation plan for each Protected Tree to be removed meets the mitigation requirements; and
4. The proposed tree protection measures during construction satisfy protection requirements during all phases of construction.

E. *Effect.*

Protected Trees can be removed with building or clearing grubbing/earthwork permits in accordance with the approved tree protection plan. Protected Tree removal not associated with development can be approved with an approved tree protection plan in writing from the Tree Preservation Administrator. No Protected Tree shall be removed until all the following have occurred:

1. All Non-disturbance areas and Protected Trees are demarcated and secured on the ground in accordance with measures set forth in the tree protection plan;
2. All proposed mitigation fees have been paid, if applicable.

F. *Occupancy limitations.*

No building permit for a single-family or duplex residential use, nor a certificate of occupancy for other uses, shall be approved until all mitigation measures in the approved tree protection plan have been completed and fees paid.

G. *Plan verification and enforcement.*

1. Inspection. Approval of a tree protection plan authorizes the Tree Preservation Administrator to inspect the property during or after construction to determine compliance with the plan. If the Tree Preservation Administrator determines that Protected Trees to remain have been removed, or that tree protection during construction is not being implemented, the Tree Preservation Administrator will request a revised tree mitigation plan and seek immediate enforcement of the approved plan, including measures to stop work as follows.
 - a. Violation during permitted construction. Violations will be given five (5) days to revise the *Tree protection plan*. *Section 8.16.6.A.* if no additional tree removal takes place.
 - b. If a revision is not submitted, all construction activities will receive a cease-and-desist stop work order. Construction activities will not be allowed to continue until a revised tree protection plan has been submitted.
2. Acceptance and/or Permits. Prior to final acceptance of public improvements for the development or issuance of a building permit, the Tree Preservation

ARTICLE 8: LANDSCAPE AND SCREENING

Administrator shall verify that the developer's obligations under the tree protection plan have been fully satisfied. If obligations have not been fulfilled, measures shall be identified to bring the development into compliance with this section. The tree protection plan shall be updated and shall serve as conditions for final acceptance of public improvements or issuance of a building permit.

8.16.9 Establishment of Urban Forest Fund.

A. *Account established.*

The City's finance department shall establish an interest-bearing account into which mitigation fees collected under this article are deposited and to which interest is allocated. Interest earned on the account into which the mitigation fees are deposited shall be considered funds of the account and shall be used solely for the purposes established herein.

B. *Fee established.*

A mitigation fee hereby is established in the amount of Two hundred dollars (\$200.00) per Caliper Inch for each Protected Tree removed and that has not been otherwise mitigated pursuant to this section.

C. *Collection of fees.*

Mitigation fees shall be collected either at the time of application approval of a tree protection plan required under tree protection requirements, or at the time of building permit application for fees due under tree removal permit.

D. Use of Urban Forest Fund Mitigation fees deposited in the Urban Forest Fund and interest earned thereon shall be used solely to plant protected trees in public space, parks, or other City-owned property. Expenditure of such funds shall require approval of the Tree Preservation Administrator, City Manager, or City Council as appropriate.

8.16.10 Administration and Relief Measures

A. *Administration.*

The Tree Preservation Administrator shall be the responsible official for administering the contents of this section.

B. Relief measures require approval by the City Council upon a recommendation from the Planning and Zoning Commission.

8.16.11 Definitions. The following definitions shall apply to this Section 16:

Caliper Inches. The measurement of the average cross-sectional diameter of the trunk of an existing tree at four and one-half (4½) feet above grade in inches, also known as diameter at breast height (DBH). If the tree is on a slope, it shall be measured from the high side of the slope. Newly planted trees shall be measured six (6) inches above grade.

Clear-Cut. The act of cutting down and removing every tree from an area.

Mitigation. The act of reducing the severity of tree removal from a development site by strategically preserving, planting, or paying into the Urban Tree Fund.

Non-Disturbance Area. Any area of a proposed subdivision or site within which no grading or other development activities will take place. These areas shall be protected during construction according to Section 8.16.7.

8-87

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Qualified Professional. A Qualified Professional is a land surveyor, arborist, horticulturalist, or master gardener.

Pad Site. (Specifically for Tree Ordinance) The footprint of a principal building or addition to a principal building to be placed on a platted lot or tract, as evidenced from an approved building permit application, together with all land lying within ten (10) linear feet of such footprint. Platted lots that are zoned for single-family use and for which a permit for a single-family dwelling has been issued may include driveways, patios, swimming pools and other paved areas normally associated with single-family dwellings.

Protected Tree. Any species of tree eight (8) Caliper Inches or more in size that is **not** an Unprotected Tree.

Removal of Tree. The act of directly or indirectly cutting down, destroying, taking out, or effectively removing a tree.

Right-of-Way. The area of real property in which the City has a dedicated or acquired right-of-way interest. It shall include the area on, below or above the present and future streets, alleys, avenues, roads, highways, parkways or boulevards dedicated or acquired as right-of-way.

Riparian Buffer Zone. The transitional areas between uplands and adjacent streams, ponds, lakes, and other freshwater bodies, characterized by the presence of moisture tolerant vegetation on banks, edges, or limits of freshwater bodies.

Street Yard. Area defined by a line parallel to the building which extends to the property lines in both directions and public right-of-way. Includes multiple rights-of-way, if applicable.

Tree Preservation Administrator. The person assigned by the City Manager to administer this Tree Preservation Ordinance or his designee.

Unprotected Tree. Any tree of the following species regardless of size:

Silver Maple	Acer saccharinum
Sugar Hackberry	Celtis laevigata
Hackberry	Celtis occidentalis
Honey Locust	Gleditsia tracanthos
Bois d'arc	Maclura pomifera
Bradford Pear	Pyrus calleryana
Mimosa	Albizia julibrissin
Red Mulberry	Morus rubra
Ashe Juniper	Juniperus ashei
Redberry Juniper	Juniperus pinchotii
White Mulberry	Morus alba
White (Silver) Poplar	Populus alba
Lombardy Poplar	Populus nigra italica

8-88

Grand Prairie

ARTICLE 8: LANDSCAPE AND SCREENING

Cottonwood	Populua deltoids
Willow	genus Salix
Green Ash	Fraxinus pennsylvanica
Arizona Ash	Fraxinus velutina
Black Locus	Robinia pseudoacacia